

APOPKA CITY COUNCIL AGENDA
February 21, 2018 7:00 PM
APOPKA CITY HALL COUNCIL CHAMBERS
Agendas are subject to amendment through
5:00pm on the day prior to City Council Meetings

CALL TO ORDER

INVOCATION - Pastor James Hicks of Center of Faith Church

PLEDGE

AGENDA REVIEW

PUBLIC COMMENT; STAFF RECOGNITION AND ACKNOWLEDGEMENT

Public Comment Period:

The Public Comment Period is for City-related issues that may or may not be on today's Agenda. If you are here for a matter that requires a public hearing, please wait for that item to come up on the agenda. If you wish to address the Council, you must fill out an Intent to Speak form and provide it to the City Clerk prior to the start of the meeting. If you wish to speak during the Public Comment Period, please fill out a green-colored Intent-to-Speak form. If you wish to speak on a matter that requires a public hearing, please fill out a white-colored Intent-to-Speak form. Speaker forms may be completed up to 48 hours in advance of the Council meeting. Each speaker will have four minutes to give remarks, regardless of the number of items addressed. Please refer to Resolution No. 2016-16 for further information regarding our Public Participation Policy & Procedures for addressing the City Council.

Proclamations:

1. Future Farmers of America Proclamation presented to Apopka High, Wekiva High, Apopka Memorial Middle, Piedmont Lakes Middle and Wolf Lake Middle Schools.

Presentations:

1. Present Carnegie Hero Fund Commission Medal to Jason Allen Williams.

CONSENT (Action Item)

1. Authorize a donation to the Kid's House Advocacy Center.
2. Resolution for naming signatories on a city money market account at Iberia Bank.
3. Appoint Byron Tobias as Fifth Trustee to the General Employees' Pension Board.
4. Appoint Raymond Thompson as Fifth Trustee to the Firefighters' Pension Board.
5. Appoint James Greene as Fifth Trustee to the Police Officers' Pension Board.

PUBLIC HEARINGS/ORDINANCES/RESOLUTION (Action Item)

1. Ordinance No. 2600 – Second Reading - Comprehensive Plan Amendment – Large Scale – Legislative Phil Martinez
Project: A. D. Raulerson, Sr. & A. D. Raulerson, Jr. and Curtis & Karen Pumphrey - Located at 251 West Lester Road
2. Ordinance No. 2634 – First Reading – Change of Zoning – Quasi-Judicial Jean Sanchez
Project: A. D. Raulerson, Sr. & A. D. Raulerson, Jr. and Curtis & Karen Pumphrey - Located at 251 West Lester Road
3. Ordinance No. 2604 – Second Reading - Comprehensive Plan Amendment – Large Scale – Legislative David Moon
Project: TGINF, LLC - Located at 501 Old Dixie Highway
4. Ordinance No. 2628 – First Reading – Change of Zoning – Quasi-Judicial Phil Martinez
Project: TGINF, LLC - Located at 501 Old Dixie Highway
5. Ordinance No. 2624 – First Reading - Change of Zoning – Quasi-Judicial David Moon
Project: George Thum, Jr. & Phillip & Peggy Dionne – Located west of Jason Dwelley Parkway, south of West Kelly Park Rd.
6. Ordinance No. 2633 – Second Reading – Vacate – Platted Right-of-Way (Ransom Street) – Quasi-Judicial Jean Sanchez
Project: City of Apopka – Located north of East 6th Street, south of U.S. Highway 441; west of South Sheller Avenue

- 7. Ordinance No. 2629 – First Reading - Comprehensive Plan Amendment – Small Scale – Legislative Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road David Moon
- 8. Ordinance No. 2630 – First Reading – Change of Zoning – Quasi-Judicial Project: VBRO Enterprises, Inc. - Located at 41 East Lester Road David Moon
- 9. Ordinance No. 2631 – First Reading - Comprehensive Plan Amendment – Small Scale – Legislative Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail Phil Martinez
- 10. Ordinance No. 2632 – First Reading – Change of Zoning – Quasi-Judicial Project: Iglesia Getsemani, Inc. - Located at 2575 West Orange Blossom Trail Phil Martinez
- 11. Ordinance No. 2637 – First Reading - Change of Zoning & PUD Master Plan/Preliminary Development Plan - Quasi-Judicial Project: City of Apopka, James D. & Deborah M. Lyda and Citizens Bank of Florida - Located on Johns Road, west of S.R. 451 Bobby Howell

CITY COUNCIL REPORTS

MAYOR’S REPORT

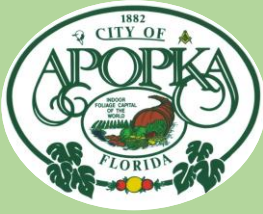
ADJOURNMENT

MEETINGS AND UPCOMING EVENTS

DATE	TIME	EVENT
February 26, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden
March 1, 2018	5:30pm – 9:00pm	Food Truck Round Up
March 7, 2018	1:30pm –	City Council Meeting
March 12, 2018	6:30pm –	CONA Meeting – UCF Apopka Business Incubator
March 13, 2018	7:00am – 7:00pm	Apopka General Election
March 13, 2018	5:30pm –	Planning Commission Meeting
March 20, 2018	6:00pm –	Code Enforcement Hearing
March 21, 2018	7:00pm –	City Council Meeting
March 26, 2018	10:00am –	Lake Apopka Natural Gas District Board Meeting: Winter Garden

Individuals with disabilities needing assistance to participate in any of these proceedings should contact the City Clerk at least two (2) working days in advance of the meeting date and time at (407) 703-1704. F.S. 286.0105 If a person decides to appeal any decision or recommendation made by Council with respect to any matter considered at this meeting, he will need record of the proceedings, and that for such purposes he may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any opening invocation that is offered before the official start of the Council meeting shall be the voluntary offering of a private person, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the City Council or the city staff, and the City is not allowed by law to endorse the religious or non-religious beliefs or views of such speaker. Persons in attendance at the City Council meeting are invited to stand during the opening ceremony. However, such invitation shall not be construed as a demand, order, or any other type of command. No person in attendance at the meeting shall be required to participate in any opening invocation that is offered or to participate in the Pledge of Allegiance. You may remain seated within the City Council Chambers or exit the City Council Chambers and return upon completion of the opening invocation and/or Pledge of Allegiance if you do not wish to participate in or witness the opening invocation and/or the recitation of the Pledge of Allegiance.



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 21, 2018
 FROM: Police Department
 EXHIBITS: Request Memo

SUBJECT: \$700 EXPENDITURE FROM LAW ENFORCEMENT TRUST FUNDS

Request: AUTHORIZE A \$700 DONATION FROM LAW ENFORCEMENT TRUST FUNDS TO KID’S HOUSE CHILDRENS ADVOCACY CENTER.

SUMMARY:

The Police Department requests City Council approval to expend funds from the Law Enforcement Trust Fund in the amount of \$700 to be donated to Kid’s House of Seminole County. Kid’s House is a non-profit organization that collaborates with all agencies of law enforcement, the state attorney's office, medical personnel, child protection professionals, social workers, and licensed mental health counselors to respond to incidents of child abuse and neglect. The team provides assistance with cases, shares information and ideas, assists with prosecution and ultimately determines the best course to provide emotional and psychological well-being for the child and family.

Law Enforcement Trust Funds may be used to support community-based programs. In accordance with trust fund rules, a local law enforcement agency may use a percentage of the total of shared monies received for the costs associated with drug abuse treatment, drug and crime prevention education, or other nonprofit community-based programs or activities that are formally approved by the chief law enforcement officer. The Apopka Police Department supports initiatives that protect and defend vulnerable youth within Central Florida. These expenditures are supportive of and consistent with the department’s support of local activities.

FUNDING SOURCE:

Law Enforcement Trust Fund.

RECOMMENDATION ACTION:

Authorize the Finance Department to disburse \$700 from the Law Enforcement Trust Fund.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



City of Apopka
Police Department
112 E. 6th Street Apopka, Florida 32703

Memorandum

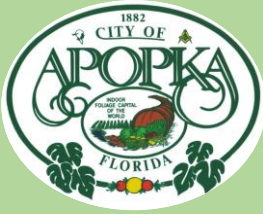
Date: February 21, 2018
To: Honorable Joseph E. Kilsheimer and Commissioners
RE: LAW ENFORCEMENT TRUST FUNDS

The Apopka Police Department request City Council approval to expend funds from the Law Enforcement Trust Fund in the amount of \$700 to be donated to Kid's House of Seminole County. Kid's House is a non-profit organization that collaborates with all agencies of law enforcement, State's Attorney Office, medical personnel, child protection professionals, social workers, and licensed mental health counselors to respond to incidents of child abuse and neglect. The team provides assistance with cases, shares information and ideas, assist with prosecution, and ultimately determines the best course to provide emotional and psychological well-being for the child and family.

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Respectfully,

Michael McKinley
Chief of Police



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Resolution

MEETING OF: February 21, 2018
 FROM: Administration
 EXHIBITS: Corporate Authorization

SUBJECT: DESIGNATION OF MONEY MARKET SIGNATORIES VIA CORPORATE AUTHORIZATION RESOLUTION

REQUEST: DESIGNATE BOTH MAYOR JOE KILSHEIMER AND CITY ADMINISTRATOR GLENN IRBY AS SIGNATORIES ON A CITY MONEY MARKET ACCOUNT AT IBERIA BANK, APOPKA

SUMMARY:

Prior to the departure of Finance Director, Pam Barclay, both she and Mayor Kilsheimer were signatories on a City Money Market account held by Iberia Bank, Apopka. Because the Bank requires a minimum of two signatures, Pam’s designation must now be changed.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Vote to accept the following Resolution naming Mayor Joe Kilsheimer and Glenn Irby as signatories on a City money market account at Iberia Bank, Apopka.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

Corporate Authorization Resolution

IBERIABANK
 Longwood East
 502 N US Hwy 17-92
 Longwood, FL 32750-0000

By: CITY OF APOPKA
 120 E MAIN ST
 APOPKA, FL 32703-5346

Referred to in this document as "Financial Institution"

Referred to in this document as "Corporation"

I, LINDA GOFF, certify that I am Secretary (clerk) of the above named corporation organized under the laws of FLORIDA, Federal Employer I.D. Number 59-6000265, engaged in business under the trade name of CITY OF APOPKA, and that the resolutions on this document are a correct copy of the resolutions adopted at a meeting of the Board of Directors of the Corporation duly and properly called and held on 02/21/2018 (date). These resolutions appear in the minutes of this meeting and have not been rescinded or modified.

Agents. Any Agent listed below, subject to any written limitations, is authorized to exercise the powers granted as indicated below:

Name and Title or Position	Signature	Facsimile Signature <i>(if used)</i>
GLENN A IRBY, CITY ADMINSTR A. _____	X _____	X _____
JOSEPH E KILSHEIMER, MAYOR B. _____	X _____	X _____
C. _____	X _____	X _____
D. _____	X _____	X _____
E. _____	X _____	X _____
F. _____	X _____	X _____

Powers Granted. (Attach one or more Agents to each power by placing the letter corresponding to their name in the area before each power. Following each power indicate the number of Agent signatures required to exercise the power.)

Indicate A, B, C, D, E, and/or F	Description of Power	Indicate number of signatures required
_____	(1) Exercise all of the powers listed in this resolution.	_____
_____	(2) Open any deposit or share account(s) in the name of the Corporation.	_____
A, B	(3) Endorse checks and orders for the payment of money or otherwise withdraw or transfer funds on deposit with this Financial Institution.	01
_____	(4) Borrow money on behalf and in the name of the Corporation, sign, execute and deliver promissory notes or other evidences of indebtedness.	_____
_____	(5) Endorse, assign, transfer, mortgage or pledge bills receivable, warehouse receipts, bills of lading, stocks, bonds, real estate or other property now owned or hereafter owned or acquired by the Corporation as security for sums borrowed, and to discount the same, unconditionally guarantee payment of all bills received, negotiated or discounted and to waive demand, presentment, protest, notice of protest and notice of non-payment.	_____
_____	(6) Enter into a written lease for the purpose of renting, maintaining, accessing and terminating a Safe Deposit Box in this Financial Institution.	_____
_____	(7) Other:	_____

Limitations on Powers. The following are the Corporation's express limitations on the powers granted under this resolution.

Resolutions

The Corporation named on this resolution resolves that,

- (1) The Financial Institution is designated as a depository for the funds of the Corporation and to provide other financial accommodations indicated in this resolution.
- (2) This resolution shall continue to have effect until express written notice of its rescission or modification has been received and recorded by the Financial Institution. Any and all prior resolutions adopted by the Board of Directors of the Corporation and certified to the Financial Institution as governing the operation of this corporation's account(s), are in full force and effect, until the Financial Institution receives and acknowledges an express written notice of its revocation, modification or replacement. Any revocation, modification or replacement of a resolution must be accompanied by documentation, satisfactory to the Financial Institution, establishing the authority for the changes.
- (3) The signature of an Agent on this resolution is conclusive evidence of their authority to act on behalf of the Corporation. Any Agent, so long as they act in a representative capacity as an Agent of the Corporation, is authorized to make any and all other contracts, agreements, stipulations and orders which they may deem advisable for the effective exercise of the powers indicated on page one, from time to time with the Financial Institution, subject to any restrictions on this resolution or otherwise agreed to in writing.

- (4) All transactions, if any, with respect to any deposits, withdrawals, rediscounts and borrowings by or on behalf of the Corporation with the Financial Institution prior to the adoption of this resolution are hereby ratified, approved and confirmed.
- (5) The Corporation agrees to the terms and conditions of any account agreement, properly opened by any Agent of the Corporation. The Corporation authorizes the Financial Institution, at any time, to charge the Corporation for all checks, drafts, or other orders, for the payment of money, that are drawn on the Financial Institution, so long as they contain the required number of signatures for this purpose.
- (6) The Corporation acknowledges and agrees that the Financial Institution may furnish at its discretion automated access devices to Agents of the Corporation to facilitate those powers authorized by this resolution or other resolutions in effect at the time of issuance. The term "automated access device" includes, but is not limited to, credit cards, automated teller machines (ATM), and debit cards.
- (7) The Corporation acknowledges and agrees that the Financial Institution may rely on alternative signature and verification codes issued to or obtained from the Agent named on this resolution. The term "alternative signature and verification codes" includes, but is not limited to, facsimile signatures on file with the Financial Institution, personal identification numbers (PIN), and digital signatures. If a facsimile signature specimen has been provided on this resolution, (or that are filed separately by the Corporation with the Financial Institution from time to time) the Financial Institution is authorized to treat the facsimile signature as the signature of the Agent(s) regardless of by whom or by what means the facsimile signature may have been affixed so long as it resembles the facsimile signature specimen on file. The Corporation authorizes each Agent to have custody of the Corporation's private key used to create a digital signature and to request issuance of a certificate listing the corresponding public key. The Financial Institution shall have no responsibility or liability for unauthorized use of alternative signature and verification codes unless otherwise agreed in writing.

Pennsylvania. The designation of an Agent does not create a power of attorney; therefore, Agents are not subject to the provisions of 20 Pa.C.S.A. Section 5601 et seq. (Chapter 56; Decedents, Estates and Fiduciaries Code) unless the agency was created by a separate power of attorney. Any provision that assigns Financial Institution rights to act on behalf of any person or entity is not subject to the provisions of 20 Pa.C.S.A. Section 5601 et seq. (Chapter 56; Decedents, Estates and Fiduciaries Code).

Effect on Previous Resolutions. This resolution supersedes resolution dated _____ = all prior dates _____. If not completed, all resolutions remain in effect.

Certification of Authority

I further certify that the Board of Directors of the Corporation has, and at the time of adoption of this resolution had, full power and lawful authority to adopt the resolutions stated above and to confer the powers granted above to the persons named who have full power and lawful authority to exercise the same. (Apply seal below where appropriate.)

If checked, the Corporation is a non-profit corporation.

In Witness Whereof, I have subscribed my name to this document and affixed the seal of the Corporation on
02/22/2018 (date).

Secretary
LINDA GOFF

Attest by One Other Officer
GLENN A IRBY

For Financial Institution Use Only

Acknowledged and received on _____ (date) by _____ JBURR (initials)

This resolution is superseded by resolution dated _____.

Comments: 20001262009-D



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 21, 2018
 FROM: Mayor Kilsheimer
 EXHIBITS: Board Appointment
 Form, Résumé

SUBJECT: APPOINT BYRON TOBIAS AS FIFTH TRUSTEE TO THE GENERAL EMPLOYEES’ RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPOINT BYRON TOBIAS AS FIFTH TRUSTEE TO THE GENERAL EMPLOYEES’ RETIREMENT SYSTEM BOARD OF TRUSTEES FOR THE TERM ENDING FEBRUARY 15, 2019.

SUMMARY:

A vacancy was created in the Fifth Trustee position with the resignation of Lynne Harold. At the General Employees’ Retirement System Board of Trustees quarterly meeting on Thursday, February 15, 2018, Mayor Kilsheimer recommended the appointment of Byron Tobias as its Fifth Trustee. The recommendation was seconded by Trustee Jeanne Green and approved by a unanimous vote of 4-0. Pursuant to Section 63-23(a) of the Apopka Code of Ordinances, “the fifth trustee shall be chosen by a majority of the previous four trustees...and the city council shall, as a ministerial duty, appoint such person to the board as its fifth trustee.” Accordingly, Mayor Kilsheimer recommends appointment of Byron Tobias as fifth trustee to the General Employees’ Retirement System Board of Trustees for the remainder of the term ending February 15, 2019.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Appoint Byron Tobias as Fifth Trustee to the General Employees’ Retirement System Board of Trustees for the remainder of the term ending February 15, 2019.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA
BOARD APPOINTMENT INFORMATION FORM

Please type if possible, or print clearly

Date: 2/2/18

Board(s) Desired:

1. General Employees' Pension Board of Trustees
2. _____
3. _____

Name: Byron Tobias

Address: (Home) [Redacted]

(Bus.) [Redacted]

Phone: (Home) [Redacted] (Bus.) [Redacted]

Employer: Edward Jones

Position: FINANCIAL Advisor

Education:

	Years Comp.	Degree
High School <u>Hyde Park Career Academy</u>	<u>4</u>	<u>Diploma</u>
College <u>Florida A&M University</u>	<u>4</u>	<u>B.S.</u>

1. Are you a City of Apopka resident? Yes No
 2. Are you a registered voter? Yes No
 3. Do you own property in Apopka? Yes No
 4. Are you currently serving on a City Board? Yes No
 5. Have you ever served on a City Board? Yes No
- If yes, when and which Board?

6. How long have you lived in Central Florida? Years 19 yrs approx

7. References:

Name	Address	Phone
<u>Kimberly Stewart</u>	<u>Orlando, FL</u>	[Redacted]
<u>Jeff Ritchey</u>	<u>Orange City, FL</u>	[Redacted]
<u>Joe Ferrer</u>	<u>Apopka, FL</u>	[Redacted]
<u>Steve DeViese</u>	<u>Apopka, FL</u>	[Redacted]

(Continued on other side)

Work Experience: 18+ yrs of Licensed Securities/Investment Experience.
Investment Consultant - Charles Schwab - 1999-2004
Primerica - Financial Rep - 2005-2010, Chase - Banker - 2010-2014
Edward Jones - Financial Advisor - 2014-present

Community Involvement: Apopka Chamber member, Local BNI - membership chair,
SAC - volunteer - Wolf Lake Middle Elementary,
John Bridges & Carlton Fran Center Speaker Volunteer.

Interests/Activities: Community development & service, mentorship & coaching youth,
Financial Education seminars/workshops, Sports - Bowling,
Football, basketball, softball.

Why do you want to serve on this/these Board(s)? To offer a qualified lending
ear and eyes for the financial longevity of the city
I reside in business and family.

A resume or separate sheet with additional information may be included.

I understand the responsibilities associated with being a Board member, and I have adequate time to serve on the above Board(s).

Byn C. Job
Signature

If you have questions, please call the Community Development Department at (407) 703-1712.


Return this form to: Mayor's Office
120 E. Main St.
P.O. Drawer 1229
Apopka, Florida 32704

*****NOMINATING BOARD USE ONLY*****

AIF Received	_____	Info to Staff	_____
AIF Acknowledged	_____	Mayor's Letter	_____
Forwarded to Mayor	_____	Other	_____
Council Action	_____		

Byron Tobias

Financial Advisor with over 18 years of experience | Orlando/Apopka Area | Financial Strategies | Retirement | Insurance



Summary

As a financial advisor, I believe it's extremely important to understand what financial goals are most important to you first. That's why I'm so happy to work with a firm that shares this value of putting clients' needs first. My over 18 years of experience in areas of investments, life insurance, business ownership and banking support me in being uniquely equipped to help my clients plan for now, later, and beyond.

At the age of 18, I realized the importance of planning, understanding how money works, and investing your money. That lesson soon grew into a passion to help and show others the importance of not only investing but having financial strategies in place. I focus on retirement planning, insurance planning, saving for college, and tax advantaged investments. My clients typically have started planning in one or more of these areas and they value working with a professional to help prioritize and reach their serious financial goals.

Over the years, I've also developed relationships with various professionals that can be resources for my clients with their financial planning goals. Actually any way I can help my clients or point them in the right direction, I try.

Outside the office, I enjoy spending time with family and friends, watching and playing sports, and reminding myself and others that knowledge alone is not power...it's applied knowledge that's powerful.

Experience

Financial Advisor at Edward Jones

July 2014 - Present

Relationship Banker at JPMorgan Chase & Co.

March 2010 - July 2014 (4 years 5 months)

As a Relationship Banker my role is to acquire new customers, expand current and new relationships, and retain customer relationships. Also, maintain regular contact and deepen high balance customer book assigned to me. All of this is done by providing consultative needs and benefits based selling and exceptional customer service in various areas of banking and financial planning.

Financial Consultant at Primerica

September 2005 - February 2010 (4 years 6 months)

Acquired and assisted clients in areas of life insurance, investing, and debt management. Trained team members to do the same.

Business Owner

July 2004 - February 2010 (5 years 8 months)

Executive level decision making in day to day operations, business strategies, and company objectives.

Responsibilities and initiatives included business establishment and planning, sales and order processing, marketing and exposure, continuous sales and profit growth, customer experience and service, and information privacy.

Investment Specialist

May 1999 - June 2004 (5 years 2 months)

Executed securities trades and provided high level of customer service while proactively cross-selling needs based investment advice and appropriate products and services. Also responsible for asset acquisition and retention.

Education

Florida Agricultural and Mechanical University

Bachelor of Arts (B.A.), Business/Managerial Economics, 1995 - 1999

Florida Institute of Technology

Certified Financial Planner - Prerequisites, 2002 - 2003

Byron Tobias

Financial Advisor with over 18 years of experience | Orlando/Apopka Area | Financial Strategies | Retirement | Insurance

byron.tobias@gmail.com



[Contact Byron on LinkedIn](#)



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 21, 2018
 FROM: Mayor Kilsheimer
 EXHIBITS: None

SUBJECT: APPOINT RAYMOND THOMPSON AS FIFTH TRUSTEE TO THE FIREFIGHTERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPOINT RAYMOND THOMPSON AS FIFTH TRUSTEE TO THE FIREFIGHTERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES FOR THE TWO-YEAR TERM ENDING FEBRUARY 15, 2020.

SUMMARY:

The Firefighters’ Retirement System Board of Trustees held its first quarterly meeting on Thursday, February 15, 2018, on which date the Board of Trustees recommended to retain Raymond Thompson as its Fifth Trustee. The recommendation was approved by a unanimous vote of 3-0. Pursuant to Section 63-63(a) of the Apopka Code of Ordinances, “the fifth trustee shall be chosen by a majority of the previous four trustees...and the city council shall, as a ministerial duty, appoint such person to the board as its fifth trustee.” Accordingly, Mayor Kilsheimer recommends appointment of Raymond Thompson as fifth trustee to the Firefighters’ Retirement System Board of Trustees for the two (2) year term ending February 15, 2020.

FUNDING SOURCE:

N/A

RECOMMENDATION ACTION:

Appoint Raymond Thompson to the Firefighters’ Retirement System Board of Trustees for the two (2) year term ending February 15, 2020.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER:

MEETING OF: February 21, 2018
 FROM: Mayor Kilsheimer
 EXHIBITS: None

SUBJECT: APPOINT JAMES GREENE AS FIFTH TRUSTEE TO THE POLICE OFFICERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES.

REQUEST: APPOINT JAMES GREENE AS FIFTH TRUSTEE TO THE POLICE OFFICERS’ RETIREMENT SYSTEM BOARD OF TRUSTEES FOR THE TWO-YEAR TERM ENDING FEBRUARY 15, 2020.

SUMMARY:

The Police Officers’ Retirement System Board of Trustees held its first quarterly meeting on Thursday, February 15, 2018, on which date the Board of Trustees recommended to retain James Greene as its Fifth Trustee. The recommendation was approved by a unanimous vote of 3-0. Pursuant to Section 63-103(a) of the Apopka Code of Ordinances, “the fifth trustee shall be chosen by a majority of the previous four trustees...and the city council shall, as a ministerial duty, appoint such person to the board as its fifth trustee.” Accordingly, Mayor Kilsheimer recommends appointment of James Greene as fifth trustee to the Police Officers’ Retirement System Board of Trustees for the two (2) year term ending February 15, 2020.

FUNDING SOURCE:

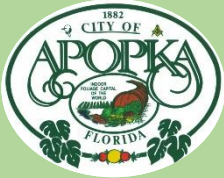
N/A

RECOMMENDATION ACTION:

Appoint James Greene to the Police Officers’ Retirement System Board of Trustees for the two (2) year term ending February 15, 2020.

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Uses
 Ordinance No. 2600

SUBJECT: **ORDINANCE NO. 2600 – COMPREHENSIVE PLAN - LARGE SCALE - FUTURE LAND USE AMENDMENT – A. D. RAULERSON SR AND A. D. RAULERSON, JR, CURTIS AND KAREN PUMPHREY**

REQUEST: **SECOND READING OF ORDINANCE NO. 2600 – COMPREHENSIVE PLAN - LARGE SCALE – FUTURE LAND USE AMENDMENT- A. D. RAULERSON SR AND A. D. RAULERSON, JR, CURTIS AND KAREN PUMPHREY – FROM “COUNTY” RESIDENTIAL LOW DENSITY (0-4 DU/AC) TO “CITY” RESIDENTIAL LOW DENSITY LOW (0-5 DU/AC)**

SUMMARY:

OWNERS: A. D. Raulerson Sr. & A. D. Raulerson Jr.; and Curtis & Karen Pumphrey

APPLICANT: Apopka Development II, LLC, c/o Richard C. Wohlfarth, P.E.

LOCATION: North of Lester Road and west of Rock Springs Road

PARCEL ID #(S): 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077

EXISTING USE: Pumphrey parcel – warehousing; Raulerson Parcels: warehousing and vacant land

DEVELOPMENT
POTENTIAL: Residential development with either townhomes, 40’ wide single-family lots, or a mixed use of both.

CURRENT ZONING: “County” A-1

PROPOSED ZONING: Planned Unit Development

MAXIMUM ALLOWABLE
DEVELOPMENT UNDER
FLUM/ZONING: EXISTING: 92 du\36 du
 PROPOSED: 112 du per PUD Master Plan (max. 115 du per RL FLUM)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The applicant intends to use the subject properties for a residential community with single family homes on 40 foot wide lots. While the County zoning assigned to the property is A-1 (minimum half acre lots), the County Future Land Use Designation assigned to its in Low Density Residential, allowing up to four units per acre. A narrow strip of land within the Pumphrey parcel isolates a parcel that is not within the proposed project boundary.

The subject properties were annexed into the City under Ordinance 2594 and 2595 on October 4, 2017. The proposed Large Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

A request to assign a Future Land Use Designation of Low Density is compatible with the character of the existing land use to the south, and anticipated commercial development to the east

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential Low Future Land Use Designation and anticipated future development of vacant properties within the nearby areas.

SCHOOL CAPACITY REPORT: School capacity determination must be completed with Orange County Public Schools prior to the adoption hearing for this Future Land Use Amendment application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County before any public hearing or advisory board. The City properly notified Orange County on September 22, 2017.

PUBLIC HEARING SCHEDULE:

October 10, 2017 - Planning Commission (5:30 pm)

November 1, 2017 - City Council (1:30 pm) - 1st Reading & Transmittal

February 21, 2018 – City Council (7:00 pm) – 2nd Reading & Adoption

DULY ADVERTISED:

September 29, 2017 – Public Notice and Notification

February 9, 2018 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area, and recommends transmittal of the change in Future Land Use from “County” Low Density Residential to Residential Low Density for the properties owned by A.D. Raulerson and A.D. Raulerson, Jr, Curtis and Karen Pumphrey.

The **Planning Commission**, at its on October 10, 2017, found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; and recommended (5/1) transmittal of the Future Land Use Map designation from “County” Low Density Residential to “City” Residential Medium Low Density to the Florida Department of Economic Opportunity.

The **City Council**, at its meeting on November 1st, 2017, accepted the first reading of Ordinance 2600 with a Future Land Use Designation of Residential Low Density; and authorized the transmittal to the Florida Department of Economic Opportunity.

Recommended Motion: Adopt Ordinance 2600

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into a made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Low Density Residential	“County” R-1AA	Alexandria Place Residential Subdivision
East (County)	“County” Low Density Residential	“County” A-1	Vacant\single family homes
South (County)	“County” Low Medium Density Residential	“County” MHP	Mobile home park (RSPI MHC LLC)
West (City)	Residential Low (0-5 du\ac)and Residential Very Low Suburban (0-3.5 un\ac)	R-1 (ZIP); R-1A; “County” A-1	City stormwater pond; vacant land owned by RSPI MHC LLC

II. LAND USE ANALYSIS

The applicant intends to develop the property a single family residential subdivision with a minimum lot width of 40 feet, townhomes, or a combination of both. Predominant existing land uses and assigned zoning in the abutting and surrounding area are residential in nature, or transitioning to residential and commercial. A mobile home park is located on the south side of Lester Road, across from the subject site. The mobile home park owner, RSPI Mobile Home Corporation, also owns land abutting the east or near the west side of the subject site. Land to the east of the subject site is anticipated to develop as neighborhood commercial in the near future.

North: Abutting the subject property to the north is a single-family homes and horticultural nursery.

West: Properties to the west of the subject site have a future land use designation of Residential Low or Residential Low Density. Along Lester Road to the west the area is developing or transitioning from agriculture or large lot single family homes, to residential subdivisions.

East: To the east the property is currently vacant or developed as large lot single family homes. However, close to the intersection of Rock Springs Road and Lester Road, and with Neighborhood Commercial future land use designation assigned to properties along Rock Springs Road, land between the subject property and Rock Springs Road is anticipated to transition into neighborhood commercial or office uses in the near future.

South: A large mobile home park, Rock Springs and Palm Isle mobile home park, is located to the south and has a “County” Low Medium Density future land use designation and mobile home zoning.

West: Along Lester Road to the west, single family residential communities are under construction or are planned. Existing agriculture uses between Vick Road and Rock Springs Road along Lester Road, are anticipated to transition to residential single family neighborhoods in the near future.

The proposed future land use designation of “City” Low Density Residential consistent with the surrounding future land use designations and anticipated future development in the surrounding area. Commercial and office development is anticipated to occur from the subject property eastward to Rock Springs Road. A mobile home park occurs to the south. The Medium Low Density Residential FLUM designation serves a transition between commercial and office development to the east and single family residential uses to the west.

Therefore, staff supports the proposed future land use designation.

Other Information:

Wekiva River Protection Area: No
Area of Critical State Concern: No
DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on September 22, 2017.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The property has access to both Rock Springs Road and Lester Road. The site has relatively level surface grades, and has no wetlands or water features.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the subject site is Residential Medium Low (0 – 7.5 du/ac) and currently has a “County” Residential Low designation (0-4 du/ac). An increase of density by 3.5 residential units per acre will yield an additional population of 215 persons based on a site of 23.2 acres. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population but a housing supply is needed to meet the growing population.

CALCULATIONS:

ADOPTED (City and County designations): 1 Unit(s) x 2.659 p/h = 3 persons

EXISTING (County designation): 4 du/ac x 23.2 ac = max. 92.8 units x 2.659 = 246 persons

PROPOSED (City designation): 5.0 du/ac x 23.2 ac = max 115 units x 2.659 = 305 person

Net Increase: + 59 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan. The amendment has the potential to create additional housing to accommodate future population growth anticipated within the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments ten (10) acres or more in size. This site is greater than ten acres. A habitat study will be required at the time of a development p

application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. Access to the site occurs from Lester Road and from Rock Springs Road. The northern end of the West Orange multi-use trail stops near the intersection of Rock Springs Road and Lester Road. A city multi-use trail occurs along Lester Road from Rock Springs Road to Vick Road.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 100 GPD/Capita;
100 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka; 100 GPD/Capita;
100 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka

2. If the site is not currently served, please indicate the designated service provider:
City of Apopka
3. Projected LOS under existing designation: 1.8 lbs./person/day
4. Projected LOS under proposed designation: 4.5 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation - Not applicable.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

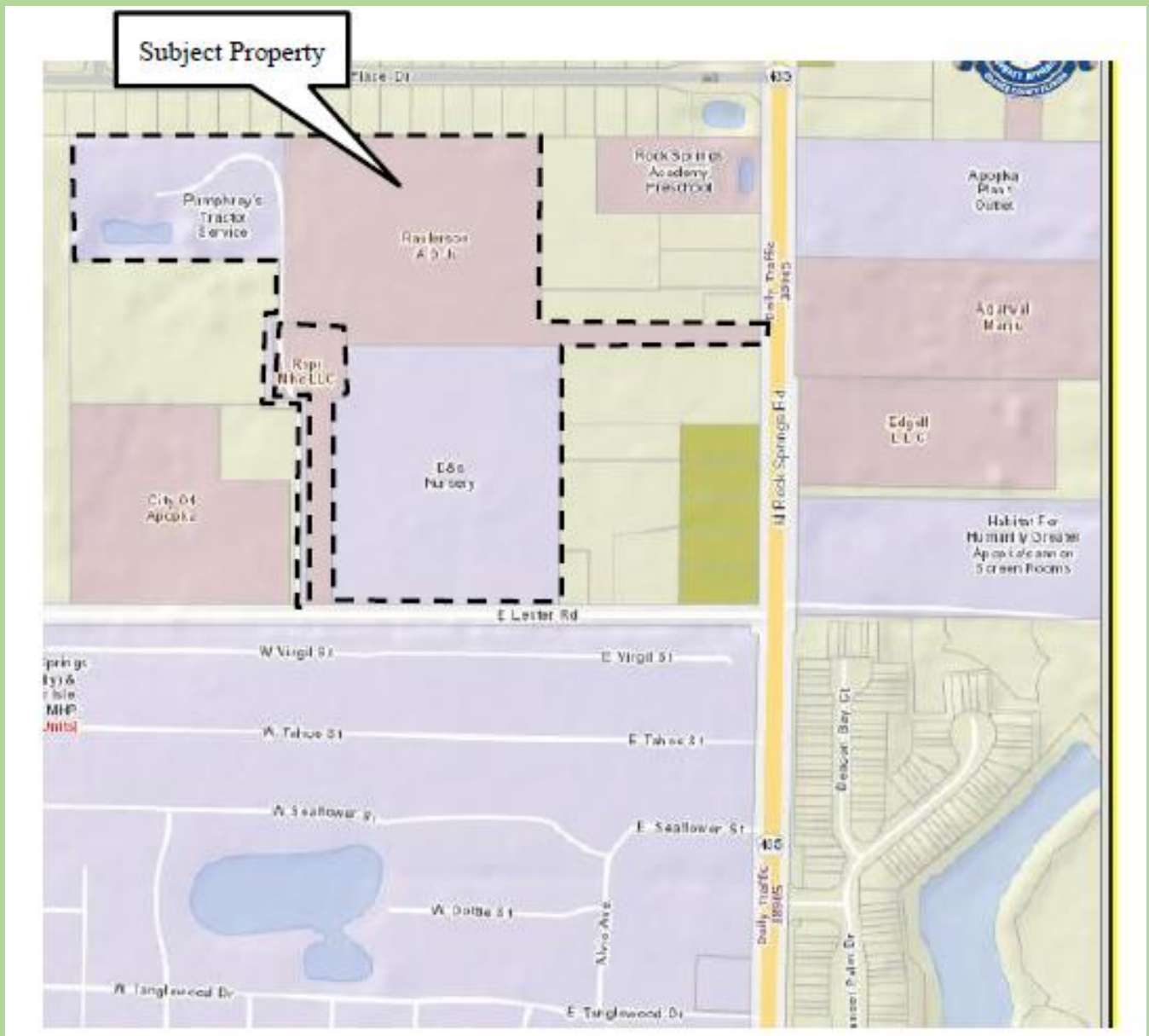
A. D. Raulerson Sr & A. D. Raulerson, Jr and Curtis & Karen Pumphrey
Property Owners
23.20 +/- Acres

Proposed Large Scale Future Land Use Amendment:
From: "County" Low Density Residential (0-4 du/10 ac)
To: "City" Low Density (0-5.0 du/ac)

Parcel ID #: 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077

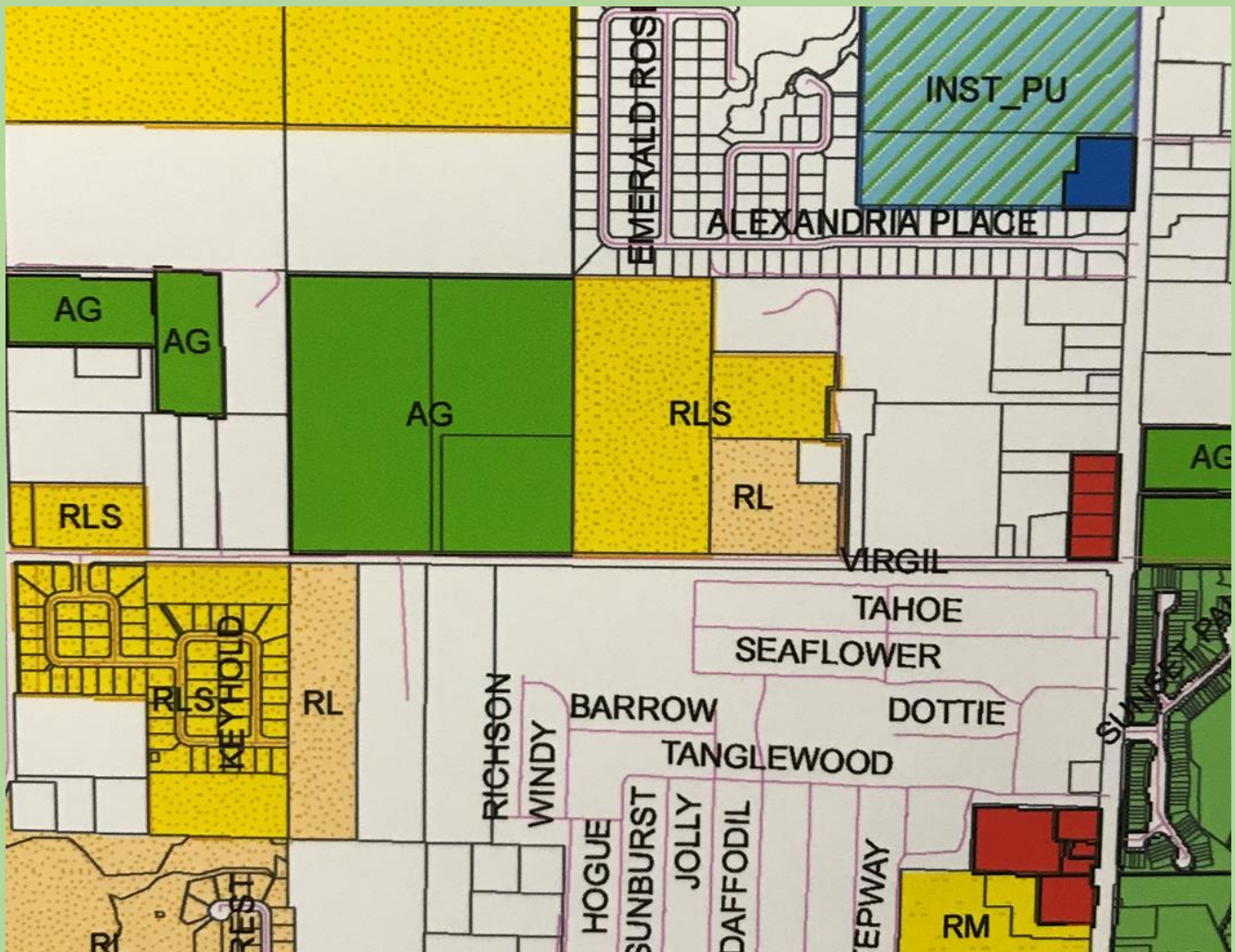


VICINITY MAP



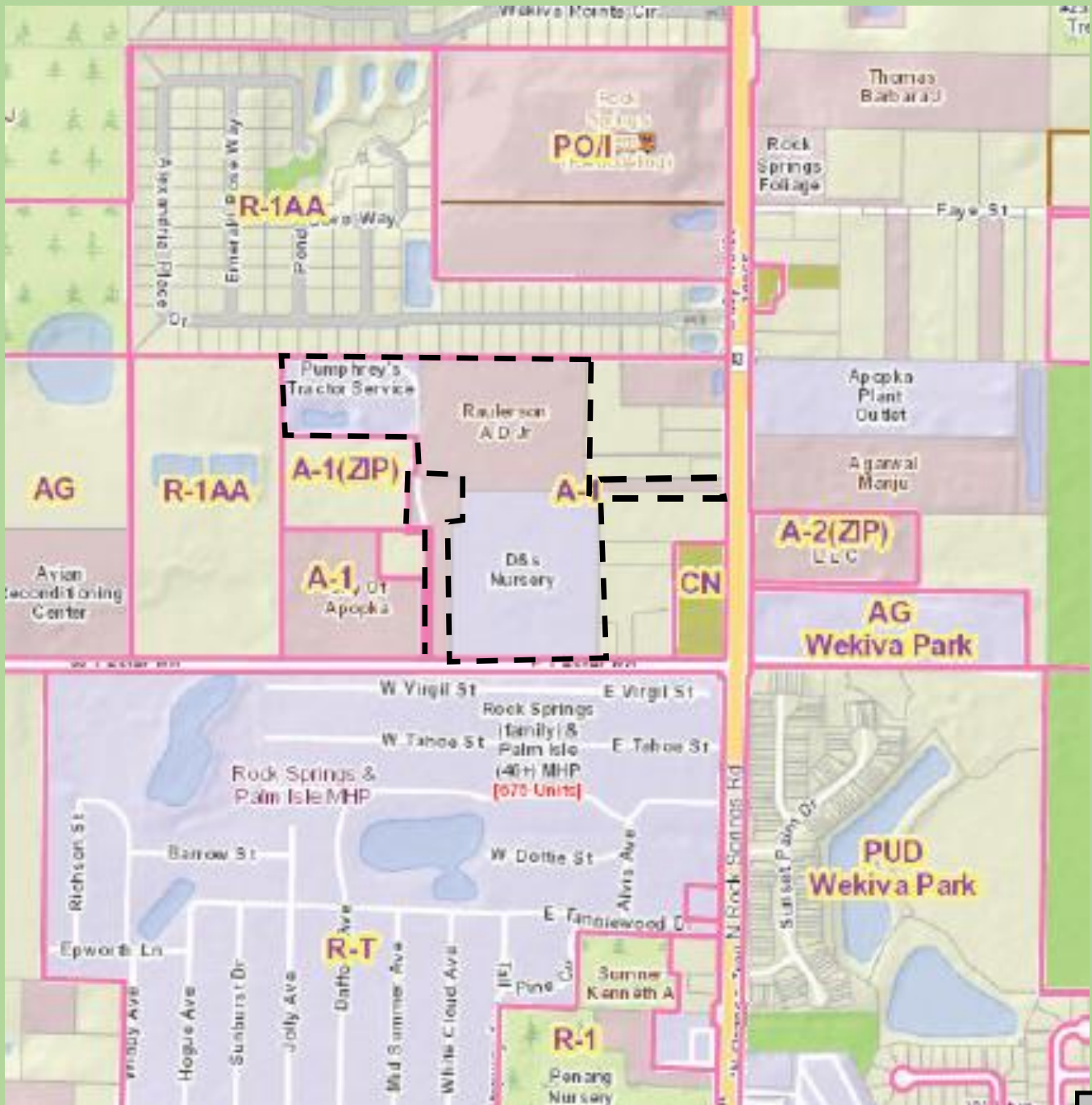


FUTURE LAND USE MAP





ADJACENT ZONING





ADJACENT USES AND EXISTING USES



ORDINANCE NO. 2600

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL TO “CITY” LOW DENSITY RESIDENTIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF ROCK SPRINGS ROAD NORTH OF LESTER ROAD, COMPRISING 23.20 ACRES, MORE OR LESS AND OWNED BY A. D. RAULERSON SR AND A. D. RAULERSON, JR; AND CURTIS AND KAREN PUMPHREY; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka, Florida, on October 2, 1991 adopted Ordinance No. 653 which adopted the Comprehensive Plan for the City of Apopka; and

WHEREAS, the City of Apopka has subsequently amended the Comprehensive Plan for the City of Apopka, most recently through Ordinance No. 2538; and

WHEREAS, the City of Apopka’s Local Planning Agency and the City Council have conducted the prerequisite advertised public hearings, as per Chapter 163, Florida Statutes, relative to the transmittal and adoption of this ordinance and the requirements for amendment to the Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: The City of Apopka hereby amends the Future Land Use Element of the adopted Comprehensive Plan as follows:

The Future Land Use Map is hereby amended for the property identified in Exhibit “A” of this Ordinance, and incorporated herein by reference.

SECTION II: This Ordinance shall become effective following adoption and upon issuance by the Department of Economic Opportunity or the Administration Commission, as may be applicable, a final order finding the amendment to be in compliance in accordance with Chapter 163.3184.

SECTION III: If any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance.

SECTION IV: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

ORDINANCE NO. 2600
PAGE 2

SECTION V: This Ordinance shall become effective upon issuance of a final order by the Florida Department of Economic Opportunity finding the plan amendment in compliance in accordance with s.163.3184 (2)(a), Florida Statute.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this ____ day of _____, 2017.

READ FIRST TIME: November 1, 2017

READ SECOND TIME February 21, 2018
AND ADOPTED: _____

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

APPROVED AS TO FORM:

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: September 29, 2017; February 9, 2018

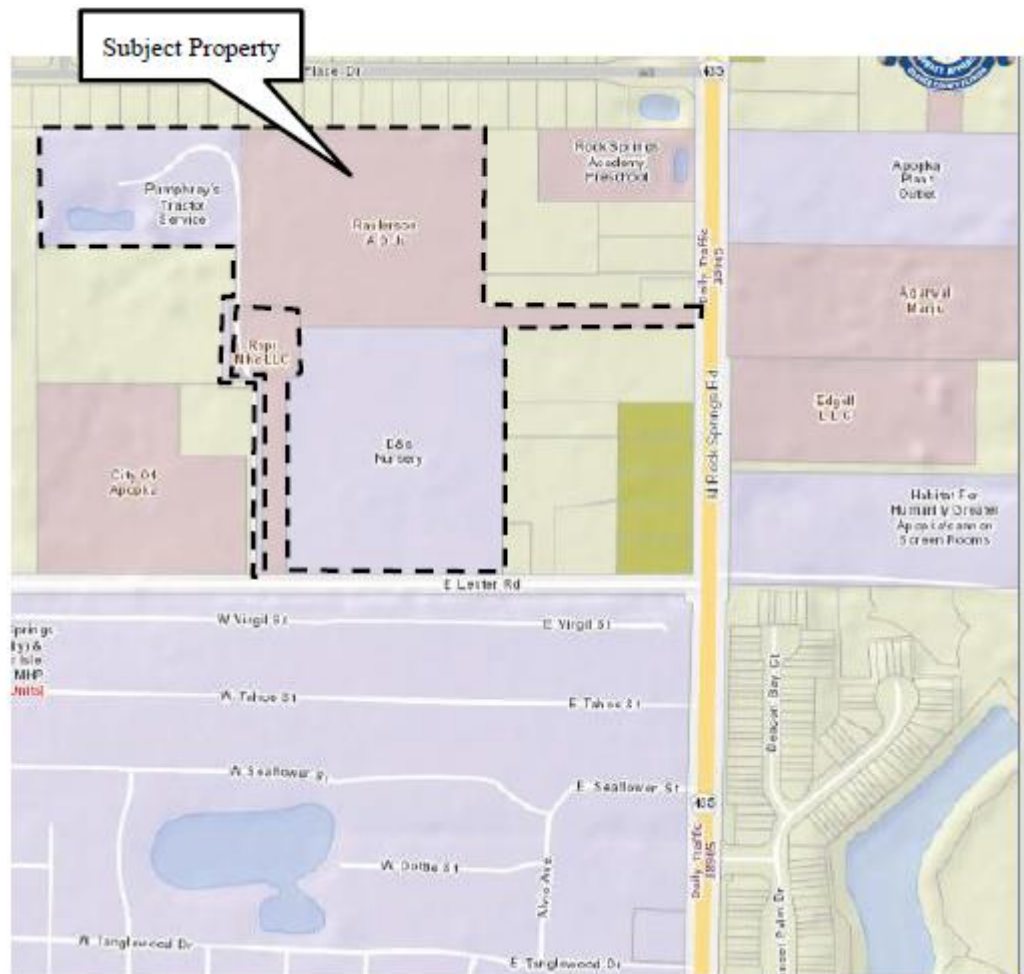


EXHIBIT "A"

**A.D. Raulerson and A.D. Raulerson, Jr, Curtis and Karen Pumphrey
Property Owners
23.20 +/- Acres**

**Proposed Large Scale Future Land Use Amendment:
From: "County" Low Density Residential (0-4 du/ ac)
To: "City" Low Density (0-5.0 du/ac)**

Parcel ID #s: 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077





**CITY OF APOPKA
CITY COUNCIL**

 CONSENT AGENDA
 X PUBLIC HEARING
 SPECIAL REPORTS
 X OTHER: PUD Master Plan

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Use Map
 Ordinance No. 2634
 Ord. 2634 Ex. A - San Sebastian Reserve
 PUD Master Plan
 Ord. 2634 Ex. B – Dev. Design Standards
 Ex. A – Subdivision Plan
 Ex. B – Amenities/Open Space Plan
 Ex. C – Landscape Plan
 Ex. D – Building Elevations

SUBJECT: ORDINANCE NO. 2634 - CHANGE OF ZONING – A.D. RAULERSON, SR. & A.D. RAULERSON, JR; AND CURTIS & KAREN PUMPHREY

REQUEST: ORDINANCE NO. 2634 - CHANGE OF ZONING – A.D. RAULERSON, SR. & A.D. RAULERSON, JR; AND CURTIS & KAREN PUMPHREY, FROM "COUNTY" A-1 (AGRICULTURAL) TO PLANNED UNIT DEVELOPMENT (RESIDENTIAL) AND MASTER PLAN; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNERS: A.D Raulerson, Sr. & A.D. Raulerson, Jr. and Curtis and Karen Pumphrey
 APPLICANT: Apopka Development II, LLC c/o Richard C. Wohlfarth, P.E.
 LOCATION: North of Lester Road and west of Rock Springs Road
 PARCEL ID NUMBERS: 28-20-28-0000-00-084; 28-20-28-0000-00-040; 28-20-28-0000-00-077
 EXISTING USE: Pumphrey parcel – warehousing; Raulerson Parcels: warehousing and vacant land
 FLUM DESIGNATION: Residential Low Density (0 -5 du\ac)
 CURRENT ZONING: PUD (Planned Unit Development), Mixed-EC (Mixed Employment Center), and I-1 (Restricted Industrial)
 PROPOSED DEVELOPMENT: 112 single family homes with minimum lot widths of 40 feet
 PROPOSED ZONING: “City” PUD (Planned Unit Development)
 TRACT SIZE: 23.14 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. The applicant is requesting the City assign a zoning classification of PUD (Planned Unit Development) to the property to accommodate lot widths smaller than the minimum required width of 70 feet through an alternative plan.

The subject properties were annexed into the City of Apopka on October 4, 2017, through the adoption of Ordinance No. 2595.

The intent of the PUD zoning ordinance is to accommodate lots that are smaller in width than the regularly required residential zoning districts. The narrowest lot width allowed in other City zoning districts is 70 feet in the R-2 and R-3 zoning districts.

PROJECT DESCRIPTION: The proposed development, San Sebastian Reserve, is a private and gated subdivision of 112 detached, single family homes. The site comprises of 23.2 acres, of which, 4.43 acres will be dedicated for recreation space. Residential lots have a minimum lot width of 40 feet and a minimum lot size of 4,400 square feet. Additional information, including the conceptual subdivision layout is displayed in the attached conceptual master plan.

A request to assign a change of zoning to PUD is compatible to the adjacent zoning classifications and with the general character of abutting properties and the surrounding area. East of the subject properties is an arterial road, Rock Springs Road, as well as commercially zoned properties. A mobile home park (Rock Springs Mobile Home Park) and a townhome community (Wekiva Park Townhomes) are located to the south of the subject properties. A single family subdivision, with 40 feet lot widths will act as a transitional use between the larger lot community to the north (Alexandria Place) and the other previously mentioned surrounding uses.

The change of zoning request is being processed in conjunction with a future land use amendment from “County” Rural to “City” Commercial. On February 21, 2018, the City Council will vote on Ordinance 2600, which proposes to change the future land use of the subject properties from “County” Residential Low Density to “City” Residential Medium Low.

DEVIATIONS: The applicant is requesting two deviations to the City's development standards. For a PUD master plan, a deviation from the City's Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the PUD zoning.

1. Typical lot width standard. The applicant is requesting a deviation from Land Development Code Section 2.02.18(D)(11) requiring the minimum single family lot size within a PUD to be a minimum of 70 feet in width unless City Council finds that a proposed alternative development is adequate to protect public health, safety and welfare based on substantial evidence. The plan shows a minimum 40-foot wide single family lot with lot size minimum of 4,400 square feet.
2. Number of canopy trees required per single family lot. Due to size of each lot and size of canopy trees at its maturity, the applicant is also requesting a deviation from Section 3.6 of the Development Design Guidelines that requires a minimum of three trees on each lot. The plan shows two trees on each lot with varying types including oak, red maple and crepe myrtle. In lieu of
3. Garage standard/architectural design. The second deviation is Section 3.2.1 of the Development Design Guidelines that require front-entry garages to be setback a minimum of 30 feet from the property line. Two models of the four typical lot detail on the plans show that one lot layout is 25 feet from the property line and another shows 28 feet from the property line. The applicant asserts that the variation garage setbacks provides a visual break along the streetscape.

Justification for Deviation. The following justifications are provided for the three deviations that are proposed:

1. Lot Width and Size. The Master Plan provides an enhanced recreation/amenities package. The amenities include a cabana, gazebo, swimming pool, playground, dog park and mail kiosk. In addition, landscape buffers are provided adjacent to the Alexandria Place residential community. Such buffer is not required next to abutting single family residential development if a minimum 70-foot wide lot were provided.
2. Lot Tree Planting Requirement. With a minimum lot size of 4,400 square feet and a minimum lot width of 40 feet, insufficient lot area occurs with the lot to plant the required three canopy trees. As alternative, one canopy and one understory tree, or only two canopy trees (depending on the lot) will be planted, and the other required tree will be planted within the landscape buffers, park areas, or other open space within the project site. Additional trees beyond the requirements of the buffer areas are provided, particularly on the northern perimeter of the site to account for the number of trees required for each lot. The plan also shows additional on-street parking throughout the community to off-set the reduced garage setback for those lots with 25' and 28' setbacks
3. Due to the shape of the overall site as well as the provision of buffers adjacent to existing residential community, compliance with a minimum open space area of 30%, the provision of over-flow parking areas, and more so because of a confined typical lot depth of 110 feet, the Master Plan offers a 25 foot long driveway instead of the required 30-foot long driveway. Also, typical lot depth at 110 feet combined with the ground floor area of some of the proposed house plans restricts available pace within a 4,400 square foot lot to accommodate a 30-foot long driveway. Further, the San Sebastian residential community is planned as a gate, private community.

PUD DEVELOPMENT AND ZONING CONDITIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

The recommendations are that the zoning classification of the aforementioned properties be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions are subject to the following provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards established for the R- 1 zoning category except where otherwise addressed in this ordinance.
- B. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Site Plan\PDP provisions will expire. At such time, the City Council may:
 1. Permit a single six-month extension for submittal of the required Final Development Plan;
 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.
- C. The following PUD development standards shall apply to the development of the subject property:
 1. Exhibit “F” describes the development standards applicable to this PUD/PDP Master Site Plan.
 2. Unless otherwise addressed within the PUD development standards, the R-1 zoning standards will apply to the subject property.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Residential Medium Low (0-7.5 du/ac) Future Land Use designation and the proposed Planned Unit Development Zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: A capacity enhancement agreement with Orange County Public Schools (OCPS) or a letter exempting the project from school capacity enhancement is required prior to submittal of a final development plan. An application for School Capacity Determination and a mitigation agreement has been submitted to OCPS by the application. A final development plan will not be approved by the City until such time the School Board approves a school capacity mitigation agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:

Planning Commission, February 13, 2018 (5:30 pm)
City Council, February 21, 2018 (7:00 pm) - 1st Reading
City Council, March 7, 2018 (1:30 pm) - 2nd Reading

DULY ADVERTISED:

January 26, 2018 - Public Notice (Letters, Apopka Chief, Site Posting)
February 23, 2018 - Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-1 to “City” PUD for the property owned by A.D Raulerson, Sr. & A.D. Raulerson, Jr. and Curtis and Karen Pumphrey, and located north of Lester Road and west of Rock Springs Road.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed amendment consistent with the Comprehensive Plan, the Land Development Code, and compatible with the character of the surrounding areas; and recommended approval (5-1) of the proposed Change of Zoning from “County” A-1 to “City” PUD/(Residential) zoning and Master Plan for the property owned by A.D Raulerson, Sr. & A.D. Raulerson, Jr. and Curtis and Karen Pumphrey, subject to the PUD Development and Zoning Conditions provided in the staff report, and subject to the City Council’s approval of the associated large scale future land use amendment.

Accept the First Reading of Ordinance No. 2634 and Hold Over for Second Reading and Adoption on March 7, 2018; and approve the PUD Master Plan/Preliminary Development Plan; and Hold Over

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	“County” Low Density Residential	“County” R-1AA	Alexandria Place Residential Subdivision
East (County)	“County” Low Density Residential	“County” A-1	Vacant\single family homes
South (County)	“County” Low Medium Density Residential	“County” MHP	Mobile home park (RSPI MHC LLC)
West (City)	Residential Low (0-5 du\ac)and Residential Very Low Suburban (0-3.5 un\ac)	R-1 (ZIP); R-1A; “County” A-1	City stormwater pond; vacant land owned by RSPI MHC LLC

LAND USE & TRAFFIC COMPATIBILITY:

The concept plan proposes accesses on Rock Springs Road and West Lester Road.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed PUD zoning is consistent with the proposed Future Land Use designation, “Residential Medium Low” (0-7.5 du/ac) and with the character of the surrounding area and future proposed development. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

SITE ARCHITECTURAL DESIGN REQUIREMENTS AND MAINTENANCE:

1. Architectural design shall meet the intent of City of Apopka Land Development Code and Development Design Guidelines.
2. A twenty (20) foot buffer tract for perimeter wall and landscaping will be provided along the Lester Road frontage. This tract shall be dedicated to and maintained by the Homeowners' Association (HOA). The design of these buffer tracts shall generally follow the landscape design appearing on sheets L1.0 of the Master Plan/Preliminary Development Plan. A six (6’) foot high wall is provided in these tracts to provide buffering from the adjacent roadways.
3. A ten (10) foot wide buffer tract for perimeter fence and landscaping will be provided on the eastern and western property line. These tracts shall be dedicated to and maintained by the HOA. The design of this buffer shall generally follow the landscape design appearing on sheets L 1.0 to L1.1 of the Master Plan/Preliminary Development Plan. A six (6’) foot high vinyl fence is provided in these tracts to buffer the adjacent agriculture-zoned properties.
4. Garage must be flushed with front wall of the single family structure. Setback to wall shall be a minimum of 25’ from front property line.
5. Country European, or Craftsman architectural styles or themes shall be applied to houses, community buildings, and mail kiosk. Architectural Style elements shall be applied to front façade only. See sheet “B-1.0” for conceptual front elevations. Modification or replacement of the exterior elevations on Sheet “B-1.0” shall be approved by the Community Development Director if such changes

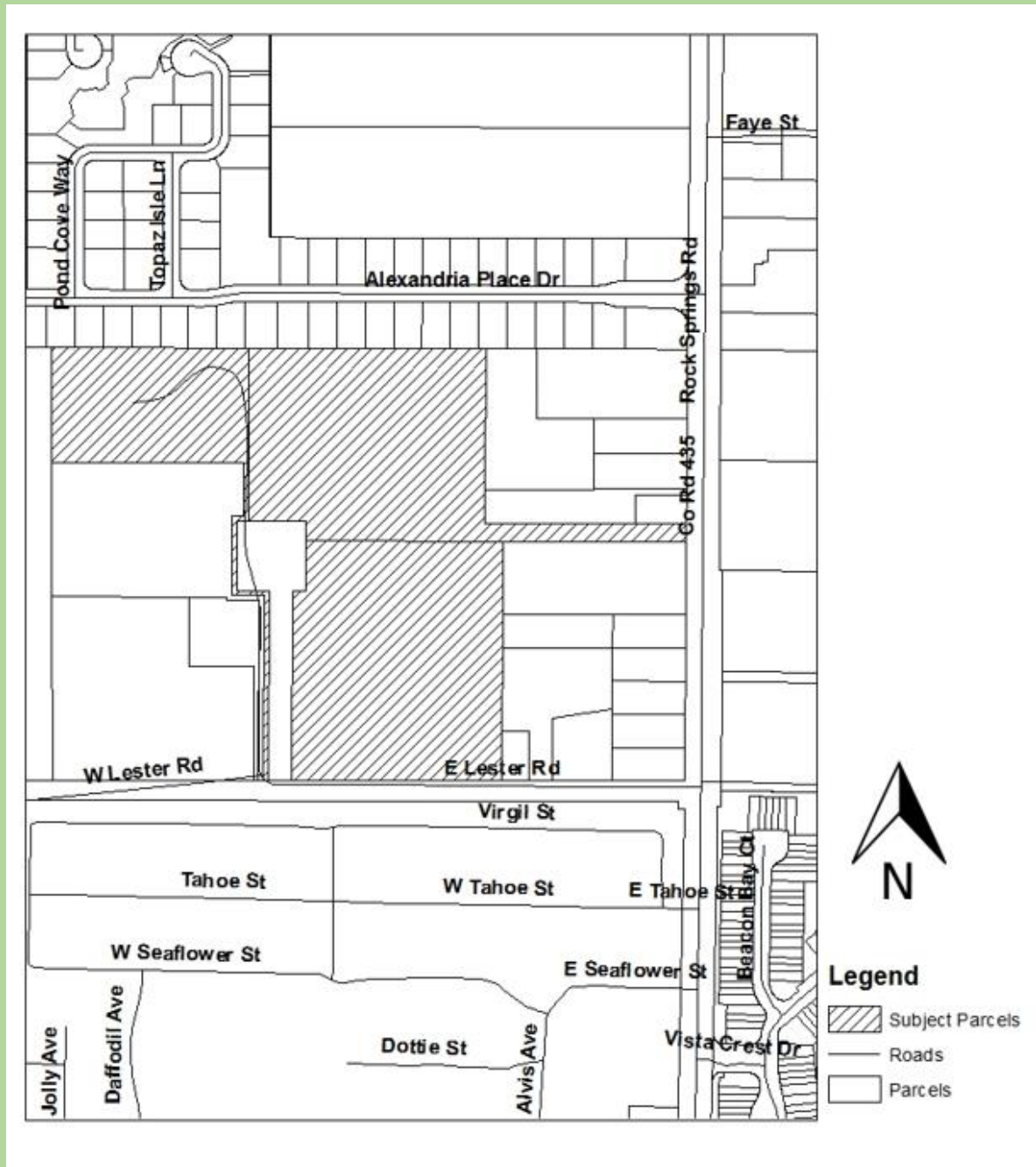
- represent equivalent architectural value. Substantial deviations from architectural rendering shall be approved by City Council.
6. Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
 7. 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
 8. Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
 9. Window Banding/trim and front door shall be painted an accent color.
 10. Pavers shall be installed at front yard driveways, lead walks, porches, and porticoes.
 11. Model plan type shall not be constructed adjacent to the same model plan type without a different elevation style type.
 12. Specific elevation style types of homes shall have similar wall finishes, window grid patterns, window banding & trim, roof lines and slopes, etc. Applied to each lot width model plan type front elevations.
 13. Identical exterior paint schemes shall not be applied on adjacent lots.
 14. Modification or replacement of the exterior elevation on approved Final Development Plans shall be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering shall be approved by City Council.
 15. Fencing is prohibited in front yards.
 16. Fencing at rear yards of 40' wide or garage front loaded lots shall be tan vinyl opaque style fencing. No fence shall exceed the height of an abutting common area wall. Rear yard fences shall not project more than 5' beyond rear side wall building corner.
 17. Swimming pools shall be allowed on single-family detached with rear yards of 20' or greater.
 18. Swimming pools must be in-ground type. Above-ground pools are prohibited.
 19. Swimming pools and decks are prohibited from projecting beyond the side wall facade.
 20. Screen enclosures over swimming pools and their respective deck area shall be single story with dome or angled roofs. Enclosure structural members shall be bronze. Screening shall be dark me

- Solid opaque or clear panels on the walls or roofs are prohibited.
21. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.
 22. Screen enclosure shall maintain the same side yards as the main dwelling structure.
 23. Trash recycle bin pads (minimum 6’x4’) shall be provided within the rear yard or trash recycle bins to be left in the garage.
 24. Elevations for mail kiosk shall be compatible with the architectural elevation styles of the homes within the community.
 - a. Modification to the approved mail kiosk elevation shall be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering shall be approved by City Council.
 25. Outdoor storage areas (boats, trailers, recreational vehicles, etc.) are not provided within the development and will be prohibited through the HOA documents.
 26. Landscaping requirements for existing platted lots of record and structures may be approved in a lesser amount than required after review by the development review committee.
 27. The HOA will maintain all lots, common areas, roadway tracts, fences\walls, and landscaping within all lots.
 28. The HOA shall be responsible for maintenance of streets, on-street parallel parking spaces, and street lighting and stormwater collection systems within the private rights-of-way within the San Sabastian Subdivision.

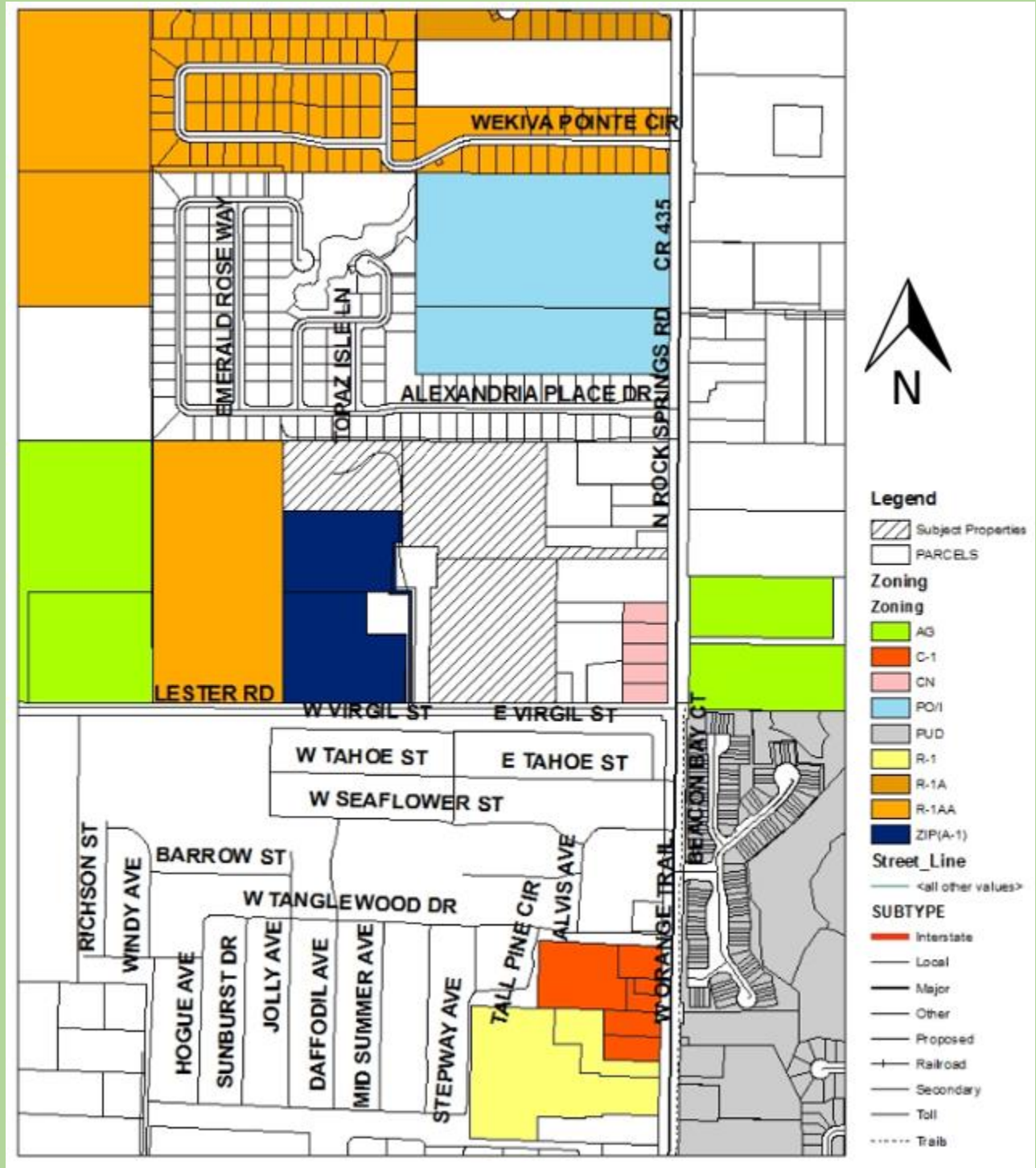
ALLOWABLE USES: As described in the PUD Recommendations herein provided above.

A.D. Raulerson Sr & A.D. Raulerson, Jr; and
Curtis & Karen Pumphrey
Property Owners
23.14 +/- Acres
Proposed Rezoning:
From: "County" A-1
To: "City" PUD
Parcel ID #s: 28-20-28-0000-00-084; 28-20-28-0000-00-040;
28-20-28-0000-00-077

VICINITY MAP



ADJACENT ZONING MAP



ADJACENT USES MAP



ORDINANCE NO. 2634

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “CITY” A-1 (ZIP) TO PUD (PLANNED UNIT DEVELOPMENT) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED WEST OF NORTH ROCK SPRINGS ROAD AND NORTH OF EAST LESTER ROAD, COMPRISING 23.41 ACRES MORE OR LESS, AND OWNED BY ADELBERT RAULERSON, SR & AD RAULERSON, JR. AND CURTIS & KAREN PUMPHREY; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/Residential) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards in the Master Plan.
- B. Development of the property shall occur consistent with the Master Site Plan set forth in Exhibit “A”. Development standards applicable to the San Sebastian are set forth within Exhibit “B”. Where any development standard conflicts between the San Sebastian Master Site Plan and the Land Development Code, the Master Site Plan shall preside. Any proposed revision to the Master Site Plan shall be evaluated and processed pursuant to Section 2.02.18.N. (Master plan revision), LDC.
- C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Site Plan\PDP provisions will expire. At such time, the City Council may:
 - 1. Permit a single six-month extension for submittal of the required Final Development Plan;

ORDINANCE NO. 2634

PAGE 2

2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD), as defined in the Apopka Land Development Code.

Legal Description:

COMM AT SE COR OF SEC, TH RUN S87-59-49W 600 FT TO POB; TH CONT S87-59-49W 630.44 FT, TH N01-41-41W 601.62 FT TO SOUTH LINE OF WELL LOT, TH N87-59-49E 38.5 FT TO SE COR OF WELL LOT, TH N01-41-41W 148.40 FT, TH N87-59-45E 593.99 FT, TH S01-45-16E 750 FT TO POB (LESS S 30 FT FOR RD R/W) IN SEC 28-20-28

Parcel I.D.: 28-20-28-0000-00-040

Contains: 10.30 +/- Acres

AND

Legal Description:

COMM AT SE COR OF SEC, TH RUN N01-45-16W 750 FT, TH S87-59-45W 50 FT TO POB; TH CONT S87-59-45W 1143.99 FT TO EAST LINE OF WELL LOT, TH N02-00-11W 59.60 FT, TH S87-59-49W 173.12 FT, TH N01-49-26W 519.15 FT TO NORTH LINE OF S 1/2 OF SE 1/4, TH N88-02-24E 714.27 FT TO NE COR OF W 1/2 OF SE 1/4 OF SE 1/4, TH S01-49-16E 524 FT, TH N88-02-24E 603.10 FT TO EAST R/W LINE, TH S01-45-16E 54.04 FT TO POB (LESS THAT PART PREVIOUSLY SOLD PER DB 829/86) IN SEC 28-20-28

Parcel I.D.: 28-20-28-0000-00-077

Contains: 9.99 +/- Acres

AND

Legal Description:

BEG SE CORNER OF E1/2 OF SW1/4 OF SE1/4, RUN S87-59-49W 15 FT, TH N01-46-12W 586.62 FT, TH S87-59-49W 98.51 FT M/L, TH N01-46-12W 238 FT, TH N87-59-49E 35.35 FT, TH N01-49-26W 159.83 FT, TH N88-03-21W 595.03 FT M/L TO WEST LINE OF THE EAST 1/2 OF THE SW 1/4 OF THE SE 1/4, TH N01-46-37W 345 FT M/L TO NORTH LINE OF E 1/2 OF SW 1/4 OF SE 1/4, TH E 609.75 FT M/L TO NW COR OF LANDS DESC IN 2748/1802, TH S01-49-26E 519.81 FT TO NORTH LINE OF WELL LOT DESC IN 3141/1427, TH S87-59-49W 34.88 FT TO NW COR OF WELL LOT, TH S01-46-12E 208 FT TO SW COR OF WELL LOT, TH N87-59-49E 98.51 FT M/L TO EAST LINE

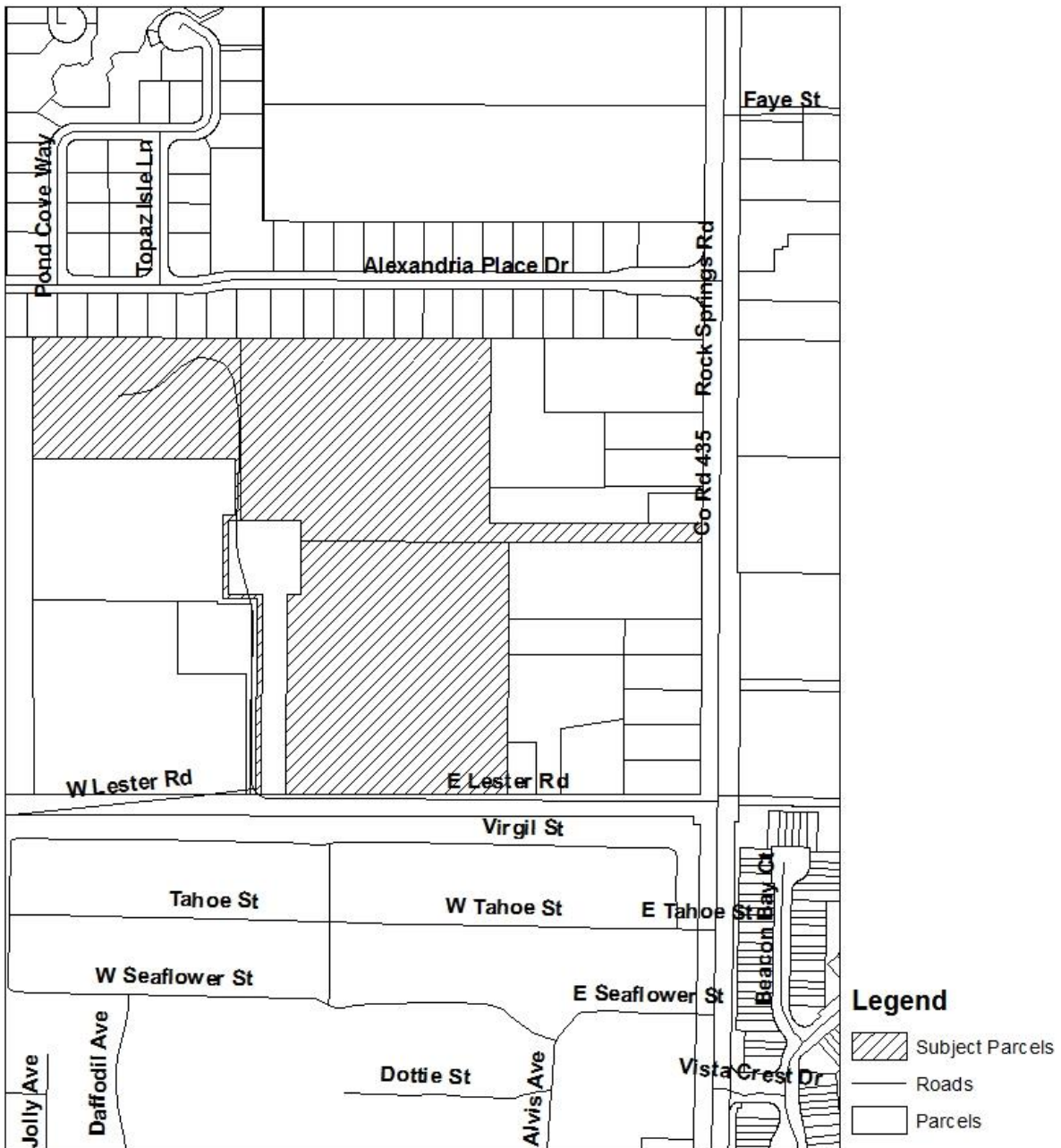
ORDINANCE NO. 2634

PAGE 3

OF THE E 1/2 OF THE SW 1/4 OF THE SE 1/4, TH S01-46-12E 601.62 FT TO
POB (LESS S 30 FT FOR RD) OF SEC 28-20-28 SEE 3513/96

Parcel I.D.: 28-20-28-0000-00-084

Contains: 5.10 +/- Acres



Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation. The Community Development Director shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon adoption of Ordinance No. 2619.

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

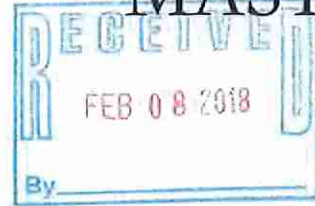
Linda Goff, City Clerk

DULY ADVERTISED: February 9 and

MASTER PLAN/PRELIMINARY DEVELOPMENT PLAN

for

SAN SEBASTIAN RESERVE (P.U.D)



PROJECT ADDRESS: 2122 ROCK SPRINGS ROAD
ORANGE COUNTY, FLORIDA
SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST

TAX I.D. PARCEL NUMBERS: 28-20-28-0000-00-040 (A PORTION OF)
28-20-28-0000-00-077 (ENTIRE PARCEL)
28-20-28-0000-00-084 (ENTIRE PARCEL)

PARCEL ADDRESS: 213 W. LESTER ROAD
2122 ROCKSPRINGS ROAD
251 W. LESTER ROAD

DRAWING INDEX

- C-1.0 MASTER PLAN DEVELOPMENT STANDARDS
- C-1.1 PRELIMINARY DEVELOPMENT PLAN
- C-1.2 PRELIMINARY DEVELOPMENT PLAN
- C-1.3 AMENITY/OPEN SPACE PLAN
- C-2.0 EXISTING CONDITIONS PLAN
- C-2.1 EXISTING CONDITIONS PLAN
- C-3.0 UTILITY SERVICE PLAN
- C-3.1 UTILITY SERVICE PLAN
- C-4.0 PRELIMINARY DRAINAGE PLAN
- C-4.1 PRELIMINARY DRAINAGE PLAN
- C-5.0 GENERAL DETAILS
- C-5.1 STANDARD UTILITY DETAILS
- C-5.2 STANDARD UTILITY DETAILS
- C-5.3 STANDARD UTILITY DETAILS
- C-5.4 STANDARD UTILITY DETAILS
- C-6.0 FIRE TRUCK TURN ANALYSIS
- L0-1.00 LANDSCAPE NOTES
- L1-1.00 MASTER LANDSCAPE PLAN
- L1-1.01 LANDSCAPE PLAN EAST
- L1-1.02 LANDSCAPE PLAN WEST
- L1-1.10 PLANTING LIST AND REQUIREMENTS
- L1-1.20 LANDSCAPE DETAILS
- B-1.0 BUILDING ELEVATIONS
- S-1.0 - S1.4 BOUNDARY/TOPOGRAPHIC SURVEY

DECEMBER 2017

LEGAL DESCRIPTION:

PARCEL 1 (O.R.B. 6302, PG. 1942)
A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87°59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'45" WEST 1143.99 FEET TO THE EAST LINE OF PARCEL PREVIOUSLY DEEDED FOR A WELL LOT; THENCE SOUTH 87°59'49" WEST, 59.60 FEET TO THE NORTHEAST CORNER OF THE AFOREMENTIONED WELL LOT; THENCE SOUTH 87°59'49" WEST, 173.12 FEET ALONG THE NORTH LINE OF THE SAID WELL LOT; THENCE NORTH 01°49'26" WEST 519.15 FEET TO THE NORTH LINE OF THE SOUTH ONE HALF (S 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SECTION 28; THENCE NORTH 88°02'24" EAST 714.27 FEET ALONG THE NORTH LINE OF SAID SOUTH ONE HALF (S 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) TO THE NORTHEAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SAID SECTION 28; THENCE SOUTH 01°49'16" EAST, 524.00 FEET ALONG THE EAST LINE OF THE SAID WEST ONE HALF (W 1/2) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4); THENCE NORTH 88°02'24" EAST 603.10 FEET TO A POINT 50.00 FEET WEST OF THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 01°45'16" EAST 54.04 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS:

FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87°59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE SOUTH 87°59'45" WEST, A DISTANCE OF 550.01 FEET; THENCE NORTH 01°45'16" WEST, A DISTANCE OF 54.16 FEET; THENCE NORTH 88°02'24" EAST, A DISTANCE OF 550.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF ROCK SPRINGS ROAD; THENCE SOUTH 01°45'16" EAST, ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 54.04 FEET TO THE POINT OF BEGINNING;

TOGETHER WITH

PARCEL 2 (O.R.B.10532, PG. 3926)
A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST RUN SOUTH 87°59'49" WEST 600.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 28 FOR A POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'49" WEST 630.44 FEET; THENCE RUN NORTH 01°41'41" WEST 601.62 FEET TO THE SOUTH LINE OF A PREVIOUSLY DEEDED WELL LOT; THENCE NORTH 87°59'49" EAST 38.50 FEET TO THE SOUTHEAST CORNER OF THE AFOREMENTIONED WELL LOT; THENCE NORTH 01°41'41" WEST 148.40 FEET ALONG THE EAST LINE OF AFOREMENTIONED WELL LOT; THENCE NORTH 87°59'45" EAST 593.99 FEET TO A POINT 600.00 FEET WEST OF THE EAST LINE OF AFOREMENTIONED SECTION 28, AND 750.00 FEET NORTH OF THE SOUTH LINE OF AFOREMENTIONED SECTION 28; THENCE SOUTH 01°45'16" EAST 750.00 FEET TO THE POINT OF BEGINNING, LESS THE SOUTH 30.00 FEET THEREOF FOR ROAD; LESS AND EXCEPT THE SOUTH 326.71 FEET OF THE WEST 200.00 FEET OF THE ABOVE DESCRIBED PARCEL 2;

TOGETHER WITH

PARCEL 3 (O.R.B. 9759, PG. 6283)
A PART OF THE EAST ONE HALF (E 1/2) OF THE SOUTHWEST ONE QUARTER (SW 1/4) OF THE SOUTHEAST ONE QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS; BEGIN AT THE SOUTHEAST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, THENCE SOUTH 87°59'49" WEST ALONG THE SOUTHERLY LINE OF SAID SECTION 28 FOR 15.00 FEET; THENCE NORTH 01°46'12" WEST, PARALLEL WITH THE EAST LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) FOR 586.62 FEET; THENCE SOUTH 87°59'49" WEST FOR 83.51 FEET; THENCE NORTH 01°46'12" WEST FOR 238.00 FEET; THENCE NORTH 87°59'49" EAST FOR 35.35 FEET; THENCE NORTH 01°49'26" WEST PARALLEL WITH THE WESTERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2748, PAGE 1803 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 159.83 FEET; THENCE SOUTH 88°03'21" WEST, PARALLEL WITH THE NORTH LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28 FOR 595.03 FEET TO THE WEST LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4); THENCE NORTH 01°46'37" WEST, ALONG THE WEST LINE FOR 345.00 FEET TO THE NORTHWEST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4); THENCE NORTH 88°03'21" EAST ALONG THE NORTH LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28; THENCE SOUTH 01°49'26" EAST ALONG THE WESTERLY LINE OF THE AFORESAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2748, PAGE 1803, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR A DISTANCE OF 319.81 FEET TO THE NORTHERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 87°59'49" WEST ALONG SAID NORTHERLY BOUNDARY FOR 34.88 FEET TO THE NORTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 01°46'12" EAST FOR 208.00 FEET TO THE SOUTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE NORTH 87°59'49" EAST, ALONG THE SOUTHERLY BOUNDARY OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 83.51 FEET TO THE EAST LINE OF THE AFOREMENTIONED EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28; THENCE SOUTH 01°46'12" EAST ALONG SAID EAST LINE, FOR 601.62 FEET TO THE POINT OF BEGINNING. LESS AND EXCEPTING THEREFROM THE SOUTHERLY 30 FEET FOR ROAD RIGHT-OF-WAY.



LOCATION MAP
N.T.S.

OWNER:
A D RAULERSON
251 W. LESTER ROAD
APOPKA, FL
407-448-0157
DOUG@COLORADOCHOICE.COM

A D RAULERSON, JR
2122 ROCK SPRINGS ROAD
APOPKA, FL
407-448-0157
DOUG@COLORADOCHOICE.COM

CURTIS AND KAREN PUMPHREY
213 W. LESTER ROAD
APOPKA, FL
407-448-0157
KAREN@COSTAVERDEIMPORTS.COM

ENVIRONMENTAL CONSULTANT:
BIO-TECH CONSULTING, INC.
CONTACT: JOHN MIKLOS, PRESIDENT
DANNY GOUGH, PROJECT MANAGER
2002 EAST ROBINSON STREET
ORLANDO, FLORIDA 32803
407-894-5969 PHONE
407-894-5970 FAX
407-983-2751 CELL
DANNY@BTC-INC.COM

APPLICANT/DEVELOPER:
APOPKA RESERVE DEVELOPMENT, LLC
CONTACT: RICHARD C. WOHLFARTH, P.E.
2300 MATLAND CENTER PARKWAY
SUITE 101
MATLAND, FLORIDA 32751
407-660-2120 OFFICE
407-350-6090 CELL
RWOLFARTH@BIGGROUP.COM

PLANNER:
SI GROUP (FLORIDA), INC.
CONTACT: RICHARD C. WOHLFARTH, P.E.
2300 MATLAND CENTER PARKWAY
SUITE 101
MATLAND, FLORIDA 32751
407-660-2120 OFFICE
407-350-6090 CELL
RWOLFARTH@BIGGROUP.COM

CIVIL ENGINEER:
WOHLFARTH CONSULTING GROUP, LLC
CONTACT: RICHARD C. WOHLFARTH, P.E.
248 N. WESTMONTÉ DRIVE
ALTAMONTE SPRINGS, FL
407-750-3123
RWOLFARTH@WCGROUP.CO

SURVEYOR:
IBI GROUP (FLORIDA), INC.
CONTACT: WILSON E. WAY, PSM
2300 MATLAND CENTER PARKWAY
SUITE 101
MATLAND, FLORIDA 32751
407-660-2120 OFFICE
407-350-6090 CELL
WILSON.WAY@BIGGROUP.COM

GEOTECHNICAL CONSULTANT:
G.E.O. ENGINEERING & SCIENCES, INC.
CONTACT: GABI STEPHAN, VICE PRESIDENT
250 S RONALD REAGAN BOULEVARD
SUITE 114
LONGWOOD, FLORIDA 32750
407-378-8510 PHONE
407-402-1819 CELL
GSTEPHAN@GEOENGINEERING.COM

PROJECT NOTES:

- 1) GATED COMMUNITY, PRIVATE STREETS
- 2) MAINTENANCE FREE COMMUNITY, ALL LOTS AND COMMON AREAS TO BE MAINTAINED BY THE HOME OWNERS ASSOCIATION
- 3) ENHANCED RECREATION
 - a) POOL/CABANA
 - b) MAIL KIOSK
 - c) PLAYGROUND
 - d) LAKE OVERLOOK
- 4) ENHANCED PEDESTRIAN WALKWAYS
 - a) 8' PATH, ADJACENT TO THE LAKE
- 5) LARGE HOUSES (1,660 SF TO 2,600 SF)
- 6) AVERAGE DENSITY LESS THAN 5 DU/ACRE

UTILITIES
POTABLE WATER
NON-POTABLE WATER
WASTEWATER
POWER
TELECOMMUNICATIONS
GAS

CITY OF APOPKA
CITY OF APOPKA
CITY OF APOPKA
DUKE ENERGY
SPECTRUM
LAKE APOPKA



WOHLFARTH CONSULTING
GROUP LLC
ENGINEERS & PLANNERS

246 N. WESTMONTÉ DRIVE
ALTAMONTE SPRINGS, FL 32714
(407) 750-3123

PERMITS REQUIRED

AGENCY	PERMIT TYPE	DATE APPROVED	APPROVAL NO.	EXPIRATION DATE
CITY OF APOPKA	ETP			
SURMID	ETP			
FDEP	WATER			
FDEP	SEWER			

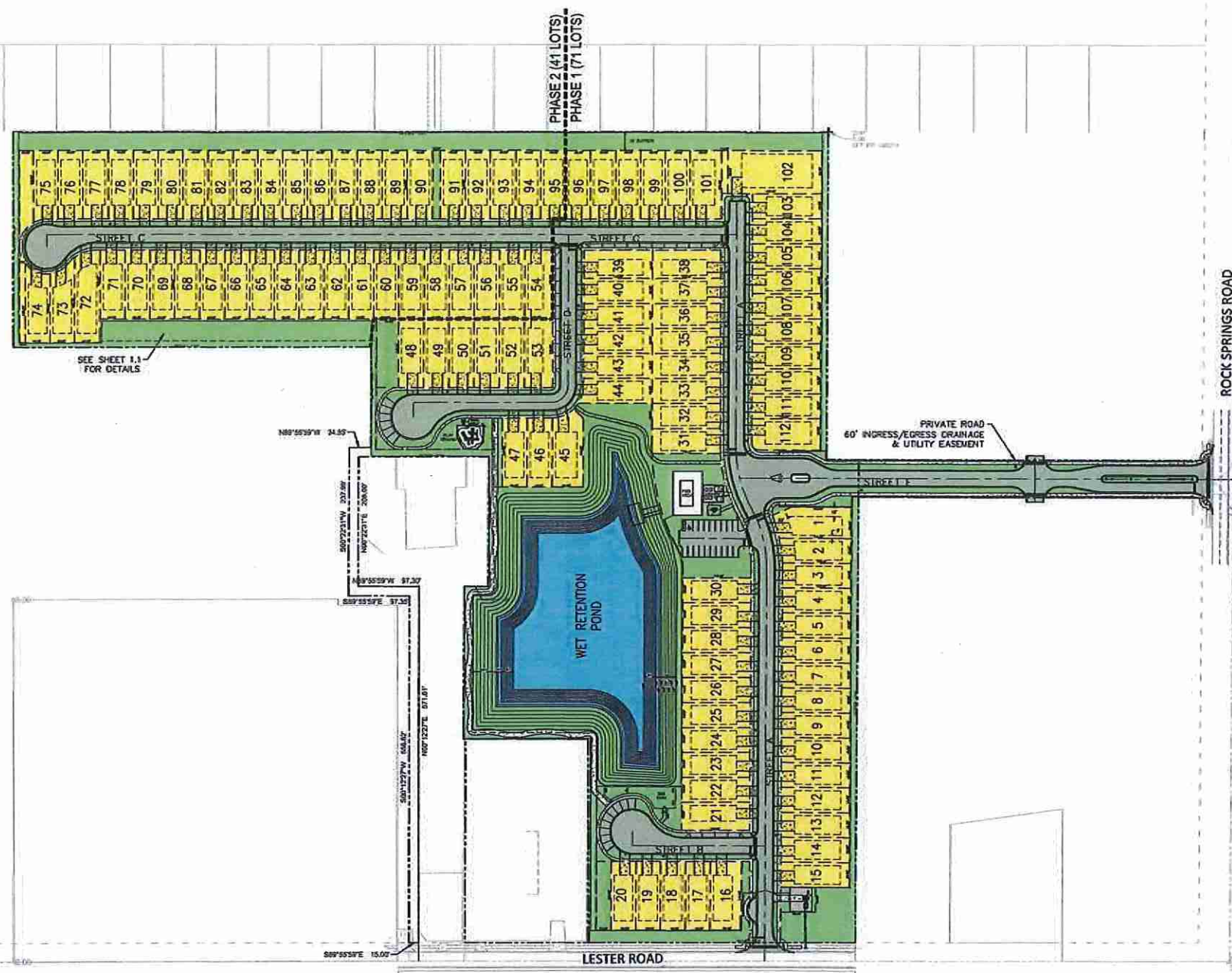
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ENGINEER'S PROJECT NO. 2017-011

NOT FOR CONSTRUCTION

C:\Users\Dennis Murray\Desktop\Rock Springs Reserve\San Sebastian\DWG\Preliminary Development Plan\2017-011-C2-Cover - Preliminary Development Plan.dwg Plotted: 2/7/2018 By: dennis murray



SITE DATA:

PARCEL IDENTIFICATION NUMBER: 28-20-28-0000-00-077
 28-20-28-0000-00-040
 28-20-28-0000-00-054

EXISTING FUTURE LAND USE (COUNTY): LOW DENSITY (4 UNITS PER ACRE)
 PROPOSED FUTURE LAND USE (CITY): LOW MEDIUM DENSITY (5 UNITS PER ACRE)

EXISTING COUNTY PARCEL ZONING: A-1 (COUNTY)
 PROPOSED ZONING: R-3 (CITY)

ADJACENT FUTURE LAND USE: NORTH: LD (COUNTY)
 SOUTH: LM (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: RLS (CITY)

ADJACENT EXISTING ZONING: NORTH: R1A (COUNTY)
 SOUTH: RT (COUNTY)
 EAST: A-1 (COUNTY)
 WEST: A-1 (CITY)

PARCEL GROSS AREA: 23.14 AC
 BUILDABLE AREA: 22.82 AC

OPEN SPACE CALCULATION: OPEN SPACE AREA: 309,283 SF OR 7.01 AC (31.12%)

PROPOSED LOT DIMENSIONS:
 -MIN. LOT SIZE: 4,400 SQ. FT.
 -MIN. LOT WIDTH: 40 FT.
 -MIN. LOT DEPTH: 110 FT.

TOTAL NUMBER OF LOTS: 112
 MINIMUM LIVING AREA (UNDER HEAT AND AC): 1,699 SQ. FT.

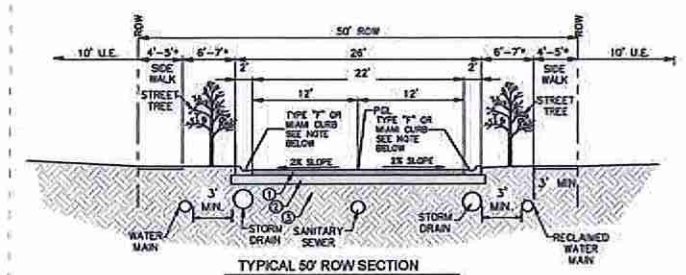
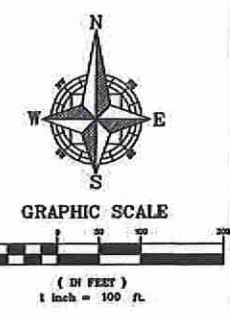
DENSITY: -NO. OF UNITS: 112
 -UNITS/ACRE: 4.50 DU/AC

BUILDING SETBACKS: FRONT: 22
 REAR: 15
 SIDE: 5
 SIDE STREET: 15

PROJECTED SCHOOL AGE POPULATION: 49 STUDENTS
 (112 UNITS X 0.43)

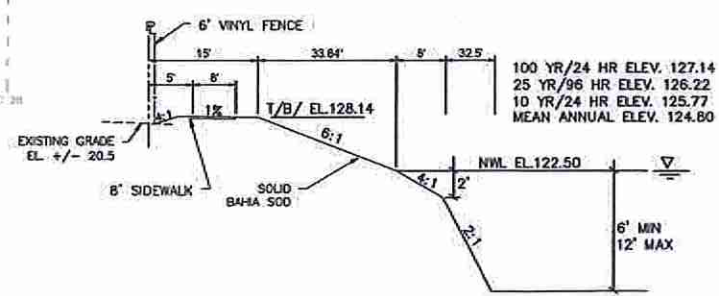
PROJECT PHASING:
 PHASE I: MARCH 2018 - FEBRUARY 2018
 PHASE II: MARCH 2019 - FEBRUARY 2019

PARKING CALCULATIONS:
 REQUIRED PARKING: 2 SPACES PER UNIT = 2*112 = 224 SPACES
 PROVIDED PARKING:
 2 SPACES PER DRIVEWAY = 2*112 = 224 SPACES
 2 CAR GARAGE = 2*112 = 224 SPACES
 COMMUNITY/GUEST PARKING = 57 SPACES - 1/2 SPACE/UNIT



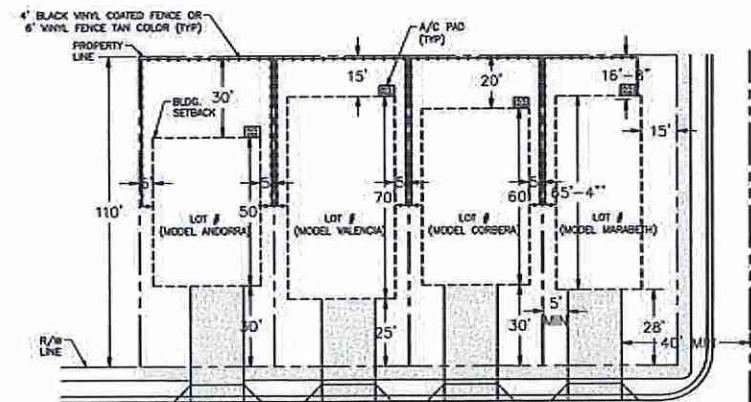
TYPICAL 50' ROW SECTION
 NTS
 TYPICAL PAVEMENT SECTION:
 1) 1-1/2" ASPHALTIC CONCRETE TYPE SP-8.5
 2) 4" CRUSHED CORNER OR LINDROCK
 3) 1" STABILIZED SUBGRADE

NOTE: MAIN CURBS TO BE CONSTRUCTED IN FRONT OF ALL LOTS. USE TYPE 'F' CURBS AND GUTTER AT ALL OTHER AREAS.
 ALL CONSTRUCTION SHALL BE DONE TO CITY OF APOKA STANDARDS

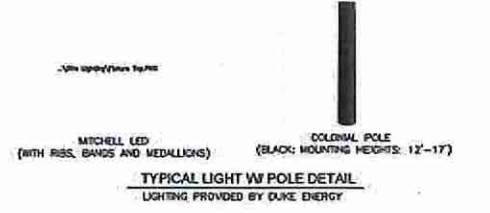


TYPICAL POND SECTION
 NTS

- GENERAL NOTES:**
- 1) AN ORANGE COUNTY R/W PERMIT WILL BE REQUIRED FOR THE CONNECTION TO ROCK SPRINGS ROAD. THE CONNECTION SHALL BE DESIGNED IN COMPLIANCE WITH ORANGE COUNTY REQUIREMENTS.
 - 2) FULL LANDSCAPE AND IRRIGATION PLANS SHALL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE NO. 2069.
 - 3) POOLS ARE NOT PERMITTED IN REAR YARD AREAS THAT ARE 15' OR LESS. THE MINIMUM REAR YARD FOR A POOL SHALL BE 20'.
 - 4) THE PRIVATE ROAD EASEMENT SHALL BE DEDICATED TO THE PUBLIC UPON THE REQUEST OF THE CITY OF APOKA.
 - 5) THE CABANA BATH WILL BE SERVICED BY REGULAR CONTAINER PICK-UP.
 - 6) MAIN/WALLEY GUTTER SHALL BE USED IN FRONT OF ALL RESIDENTIAL LOTS. TYPE 'F' CURBS AND GUTTER SHALL BE USED IN ALL OTHER AREAS.



TYPICAL LOT DETAIL
 N.T.S.
 NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION.
 THE EXACT LOCATION OF A/C PAD ALONG THE REAR OF THE BUILDING WILL BE SHOWN ON THE BUILDING PERMIT SUBMISSION.



TYPICAL LIGHT W/ POLE DETAIL
 LIGHTING PROVIDED BY DUKE ENERGY
 STREET LIGHT W/ POLE BASE (THE FINAL LOCATIONS AND PHOTOMETRICS WILL BE PROVIDED WITH THE FINAL DEVELOPMENT PLAN)

BY	
DATE	
REV	
DESCRIPTION	
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS	
246 N. WESTMONTA DRIVE ALAMOGADO, TEXAS 78104 (409) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA	
MASTER PLAN DEVELOPMENT STANDARDS	
DRAWN: DM	1/13/2018
DESIGNED: RW	
CHECKED: RW	
DATE:	
SCALE: 1"=100'	
PROJECT: 2017-011	
SHEET: C-1.0	
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108	
NOT FOR CONSTRUCTION	

SITE DATA:

PARCEL IDENTIFICATION NUMBER:
28-28-28-0000-00-077
28-28-28-0000-00-040
28-28-28-0000-00-084

EXISTING FUTURE LAND USE (COUNTY):
LOW DENSITY (4 UNITS PER ACRE)
PROPOSED FUTURE LAND USE (CITY):
LOW MEDIUM DENSITY (5 UNITS PER ACRE)

EXISTING COUNTY PARCEL ZONING:
PROPOSED ZONING:
A-1 (COUNTY)
R-3 (CITY)

ADJACENT FUTURE LAND USE:
NORTH: LD (COUNTY)
SOUTH: LM (COUNTY)
EAST: A-1 (COUNTY)
WEST: RLS (CITY)

ADJACENT EXISTING ZONING:
NORTH: R1A (COUNTY)
SOUTH: RT (COUNTY)
EAST: A-1 (COUNTY)
WEST: A-1 (CITY)

PARCEL GROSS AREA:
BUILDABLE AREA:
23.14 AC
22.82 AC

OPEN SPACE CALCULATION:
OPEN SPACE AREA: 309,283 SF OR 7.01 AC (31.12%)

PROPOSED LOT DIMENSIONS:
MIN. LOT SIZE: 4,400 SQ. FT.
MIN. LOT WIDTH: 40 FT.
MIN. LOT DEPTH: 110 FT.

TOTAL NUMBER OF LOTS: 112
MINIMUM LIVING AREA (UNDER HEAT AND A/C): 1,660 SQ. FT.
MAXIMUM BUILDING HEIGHT: 35 FT. (2 STORES)

DENSITY:
- NO. OF UNITS: 112
- UNITS/ACRE: 4.91 DU/AC

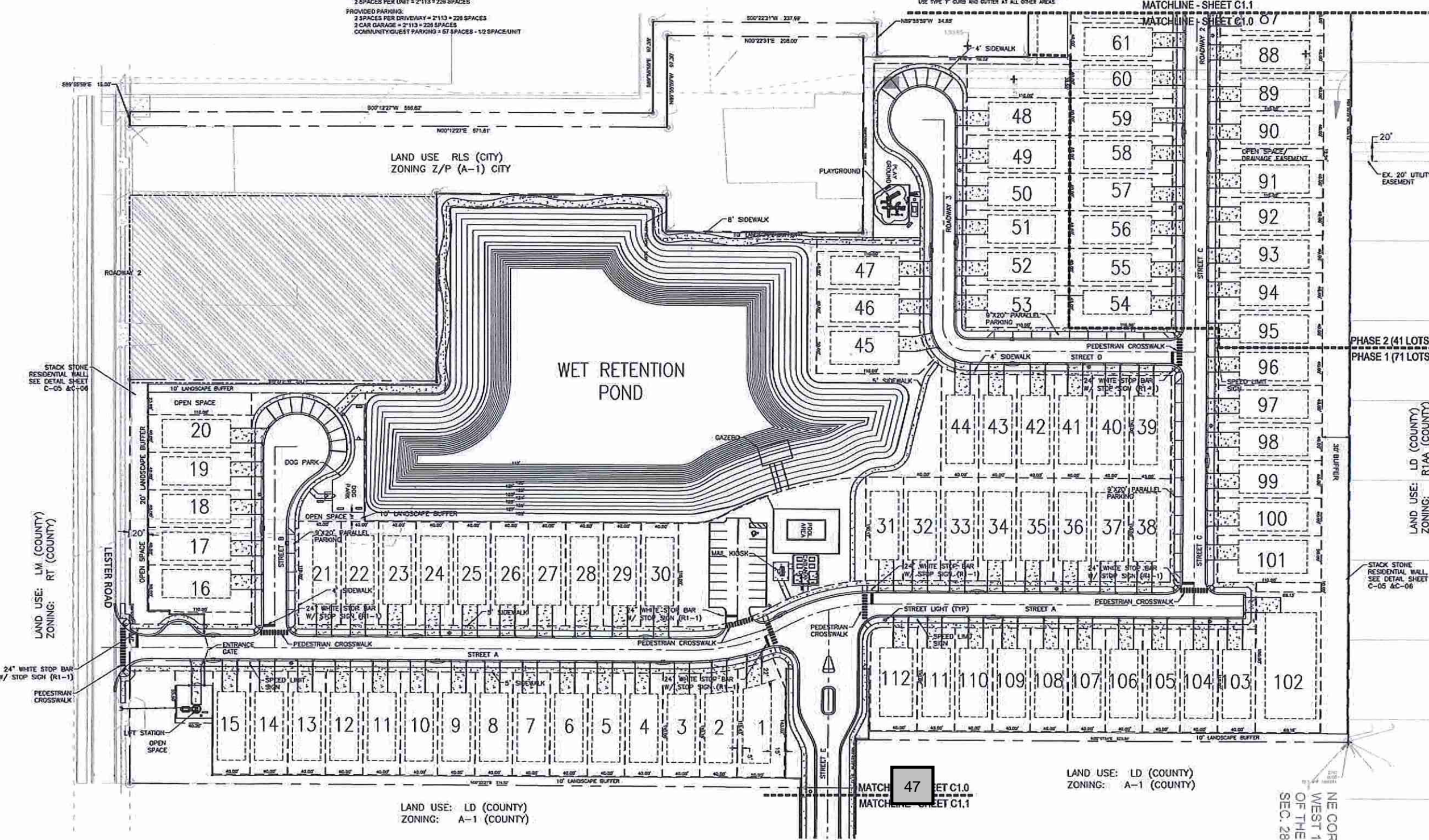
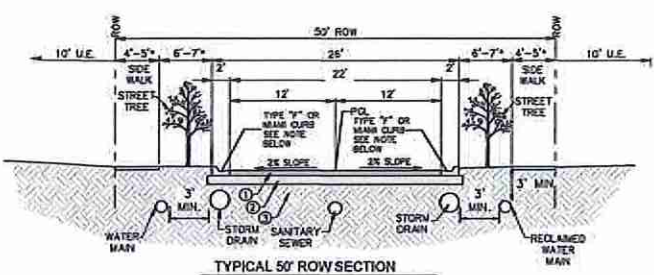
BUILDING SETBACKS:
FRONT: 22'
REAR: 15'
SIDE: 5'
SIDE STREET: 15'
BUILDING SEPARATION: 10' SIDE TO SIDE

PROJECTED SCHOOLAGE POPULATION: 48 STUDENTS
(112 UNITS X 0.43)

PROJECT PHASING:
PHASE I MARCH 2018 - FEBRUARY 2019
PHASE II MARCH 2019 - FEBRUARY 2020

PARKING CALCULATIONS:
REQUIRED PARKING:
2 SPACES PER UNIT = 2*112 = 224 SPACES

PROVIDED PARKING:
2 SPACES PER DRIVEWAY = 2*113 = 226 SPACES
2 CAR GARAGE = 2*113 = 226 SPACES
COMMUNITY/GUEST PARKING = 57 SPACES - 1/2 SPACE/UNIT



NO.	DESCRIPTION	DATE
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WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
246 N. WESTONITE DRIVE
ALAMONTE SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA
PRELIMINARY DEVELOPMENT PLAN

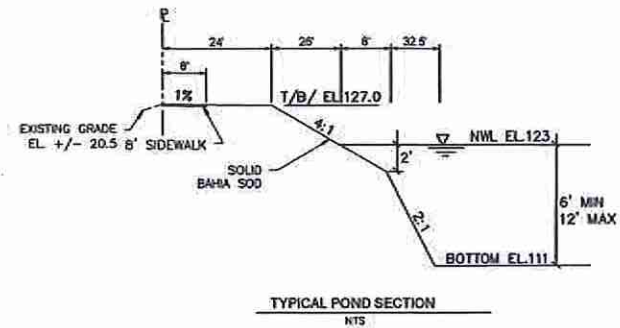
SCALE	DRAWN	DESIGNED	CHECKED	DATE
1"=50'	DM			9/16/2017
PROJECT				
2017-011				
SHEET				
C-1.1				

GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108
NOT FOR CONSTRUCTION
2018

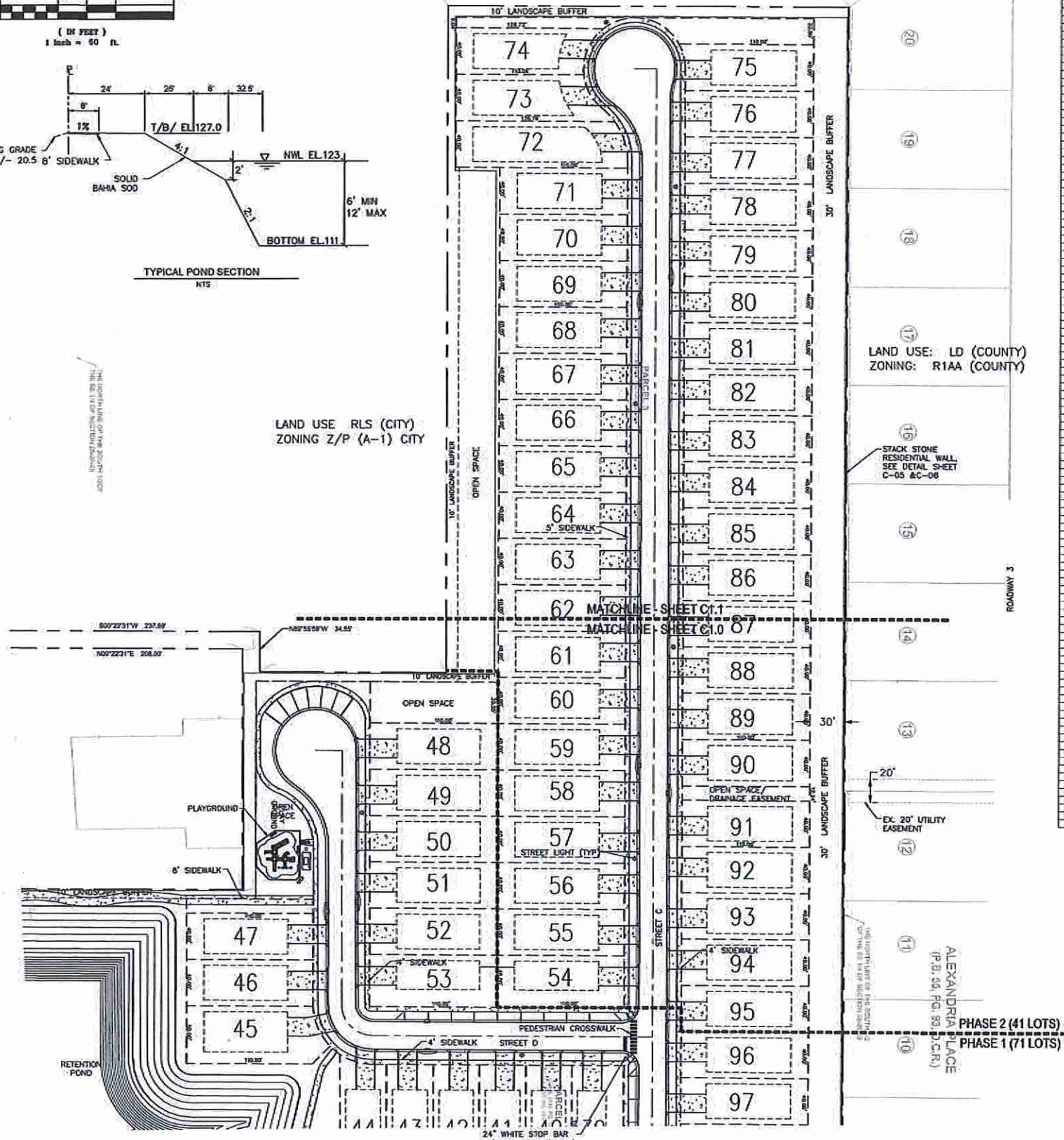
C:\Users\Demaris Murrey\Dropbox\Rick Wohlforth\San Sebastian\DWG\Preliminary Development Plan\2017-01-C1 - Preliminary Development.dwg Plotted:2/5/2018 By:demaris murrey



GRAPHIC SCALE
(IN FEET)
1 inch = 60 ft.



TYPICAL POND SECTION
NTS



LAND USE: LD (COUNTY)
ZONING: R1AA (COUNTY)

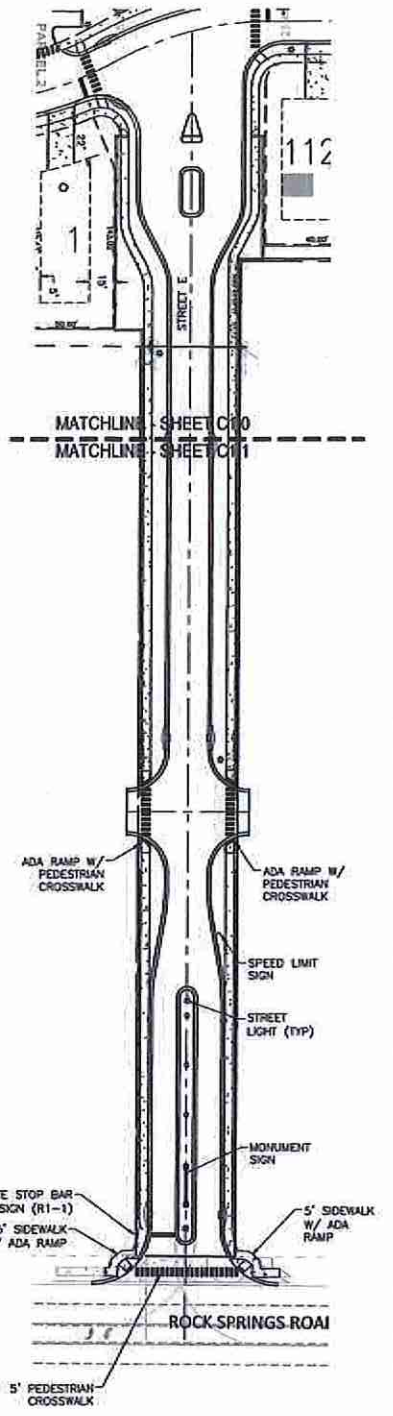
LAND USE: RLS (CITY)
ZONING: Z/P (A-1) CITY

STACK STONE
RESIDENTIAL WALL
SEE DETAIL SHEET
C-05 & C-06

ROADWAY 3

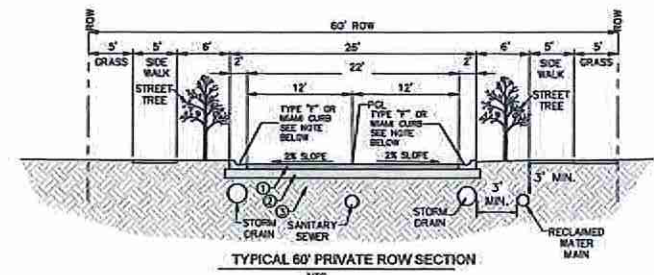
LOT TABLE

Lot Number	Lot Frontage	Lot Square Footage
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6	45	4,400
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95	45	4,400
96	45	4,400
97	45	4,400



MATCHLINE SHEET C10
MATCHLINE SHEET C11

ADA RAMP W/
PEDESTRIAN
CROSSWALK
SPEED LIMIT
SIGN
STREET LIGHT (TYP)
MONUMENT
SIGN
24" WHITE STOP BAR
W/ STOP SIGN (R1-1)
5' SIDEWALK
W/ ADA RAMP
5' SIDEWALK
W/ ADA RAMP
ROCK SPRINGS ROAI
5' PEDESTRIAN
CROSSWALK



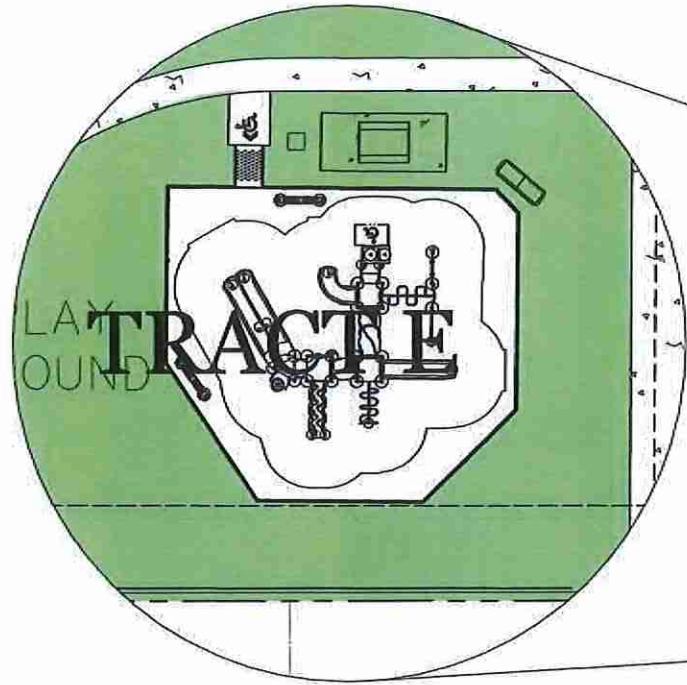
TYPICAL 60' PRIVATE ROW SECTION
NTS

TYPICAL PAVEMENT SECTION
1) 1 1/4" ASPHALTIC CONCRETE TYPE SP-9.5
2) 8" CRUSHED CONCRETE OR LAVEROCK
3) 12" STABILIZED SUBGRADE
NOTE:
ALL CONSTRUCTION SHALL BE DONE TO CITY OF APOKA STANDARDS

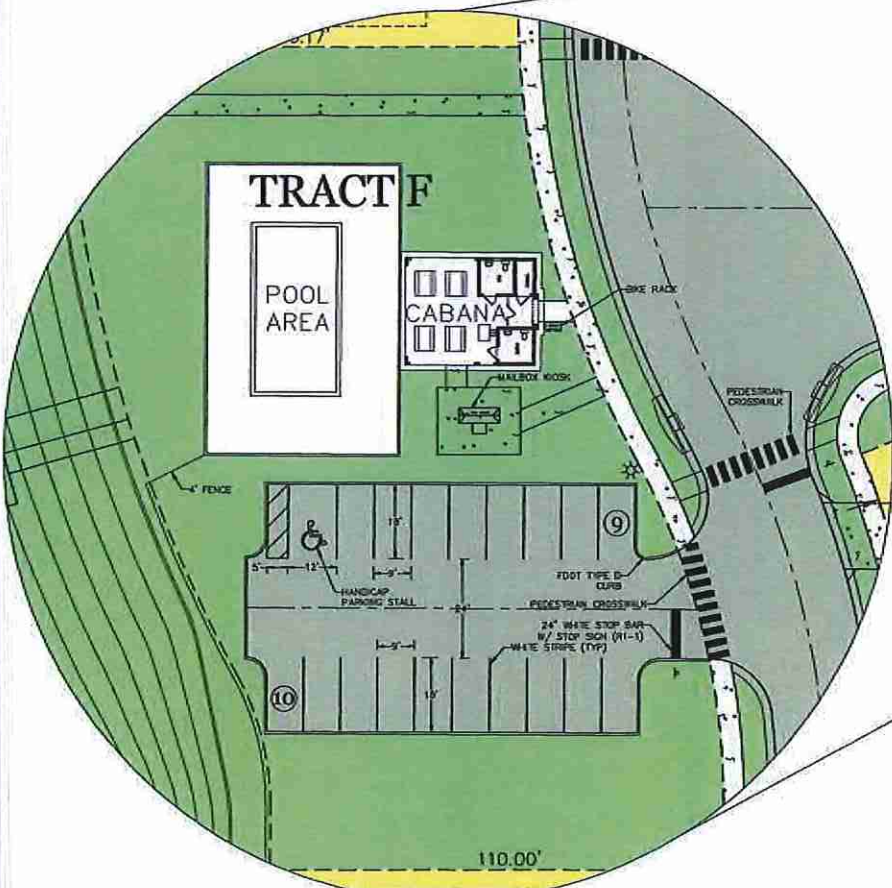
PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)
ALEXANDRIA PLACE
(P.B. 50, P.G. 99, P.C.R.)

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTLAKE DRIVE ALAMOGATE SPRINGS, OR 97144 (407) 780-3123		DATE	BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		DATE	BY
PRELIMINARY DEVELOPMENT PLAN		DATE	BY
SCALE	1"=50'	CHECKED	RW
PROJECT	2017-011	DATE	9/16/2017
SHEET	C-1.2	DATE	9/16/2017
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108		NOT FOR CONSTRUCTION	

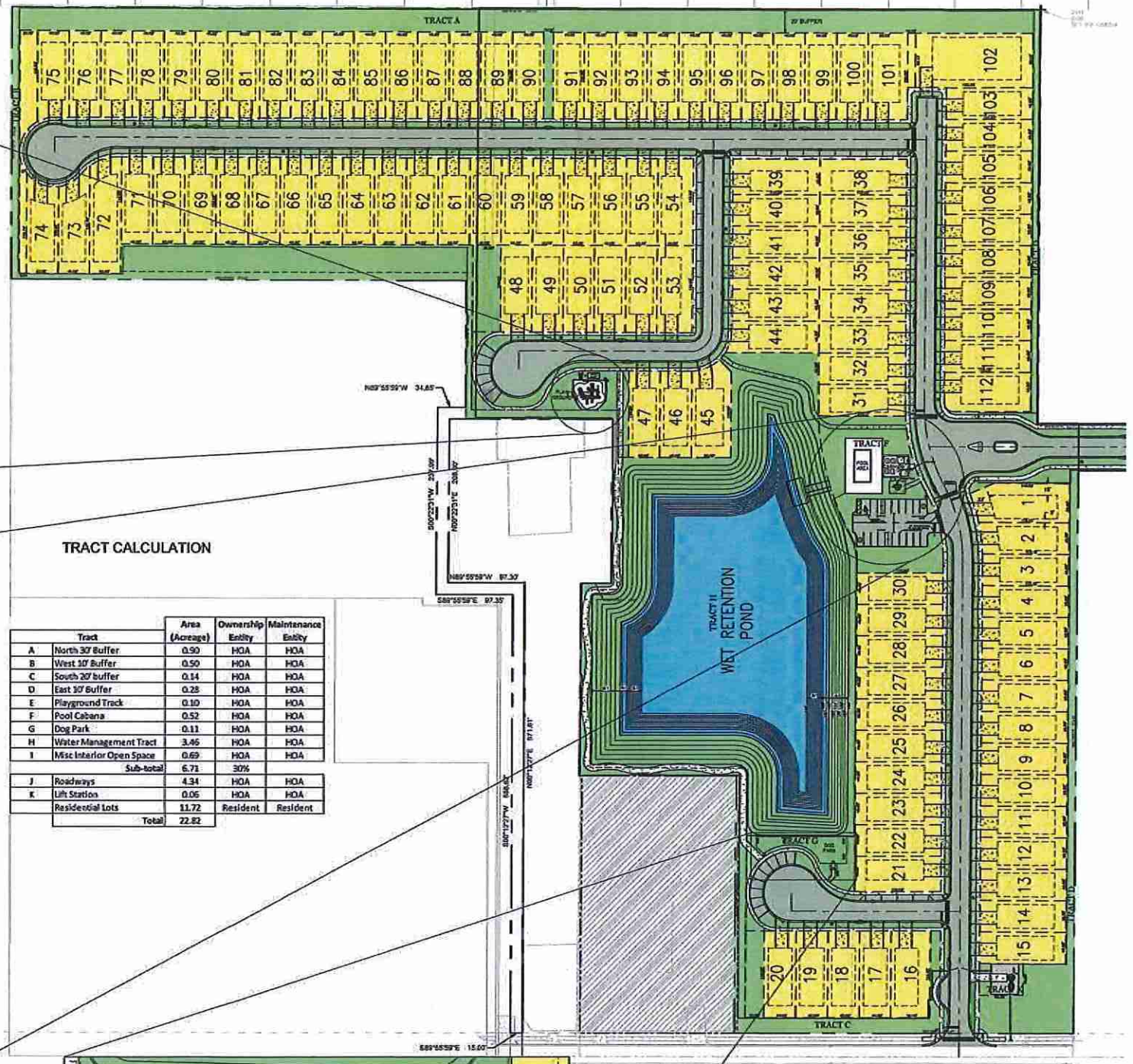
C:\Users\Dennis.Murray\Desktop\San Sebastian\San Sebastian\DWG\Preliminary Development Plan\2017-01-C-1.3-Amenity Open Space Plan.dwg Plotted: 2/5/2018 By: dennis.murray



1 PLAYGROUND
1 inch = 20 ft.

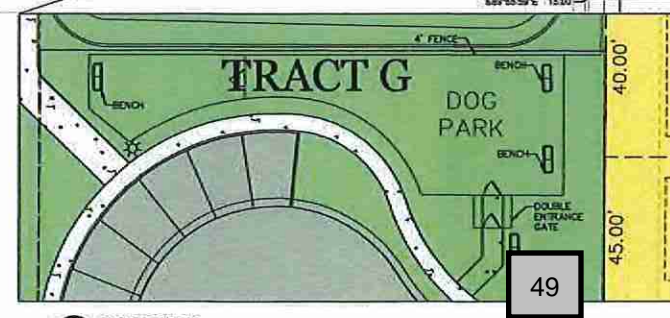


2 CLUB HOUSE/ POOL CABANA W/ WATER FRONT DOCK
1 inch = 10 ft.



TRACT CALCULATION

Tract	Area (Acreage)	Ownership Entity	Maintenance Entity
A North 30' Buffer	0.90	HOA	HOA
B West 30' Buffer	0.50	HOA	HOA
C South 20' Buffer	0.14	HOA	HOA
D East 30' Buffer	0.28	HOA	HOA
E Playground Tract	0.10	HOA	HOA
F Pool Cabana	0.52	HOA	HOA
G Dog Park	0.11	HOA	HOA
H Water Management Tract	3.46	HOA	HOA
I Misc Interior Open Space	0.69	HOA	HOA
Sub-total	6.71	30%	
J Roadways	4.34	HOA	HOA
K Lift Station	0.06	HOA	HOA
Residential Lots	11.72	Resident	Resident
Total	22.82		



3 DOG PARK
1 inch = 20 ft.



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		246 N. WESTMONTE DRIVE ALFAMONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		AMENITY/OPEN SPACE PLAN	
SCALE	VARIES	PROJECT	2017-011
DESIGNED	DM	CHECKED	RW
SHEET	C-1.3	DATE	1/13/2018
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES		BUSINESS NO. 32108	
NOT FOR CONSTRUCTION			
		DATE	DESCRIPTION
		REV	
		BY	

**ROCKS SPRINGS
BORE LOCATIONS**

LOCATION	NORTHING	EASTING	ELEVATION(FT)
BORE 1	1,592,587.73	492,245.40	126.10
BORE 2	1,592,625.33	492,073.20	126.38
BORE 3	1,592,812.91	492,321.64	124.64
BORE 4	1,592,706.77	492,002.90	127.15
BORE 5	1,592,903.59	491,878.33	127.34
BORE 6	1,592,906.16	492,066.85	126.45
BORE 7	1,592,985.89	492,245.94	124.96
BORE 8	1,593,127.04	491,830.28	127.75
BORE 9	1,593,097.27	492,030.69	126.71
BORE 10	1,593,235.52	492,286.63	124.63
BORE 11	1,593,267.97	491,971.49	126.58
BORE 12	1,593,366.33	492,192.76	125.72
BORE 13	1,593,548.00	492,263.33	124.47
BORE 14	1,593,467.88	491,992.11	125.85
BORE 15	1,593,481.68	491,776.12	125.88
BORE 16	1,593,678.38	492,005.53	124.88
BORE 17	1,593,751.71	491,772.95	124.08
BORE 18	1,593,681.04	491,557.52	124.93
BORE 19	1,593,729.87	491,291.82	127.87
BORE 20	1,593,581.27	491,339.41	125.35
BORE 21	1,593,659.11	491,087.71	127.83

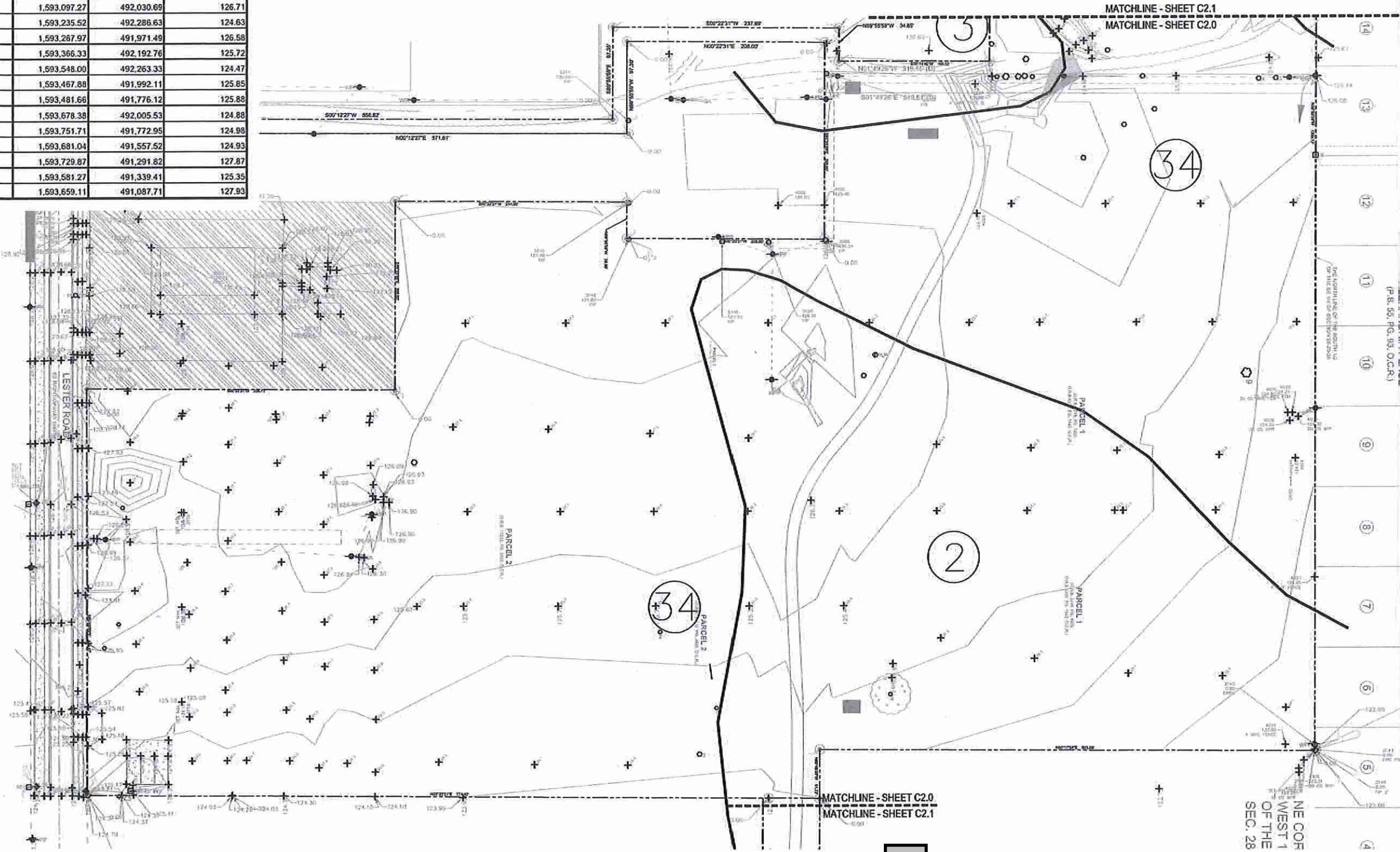
LEGEND

- EXISTING FLOOD ZONE A
- EXISTING SOILS
- ○ ○ ○ EXISTING TOPOGRAPHIC CONTOUR
- □ □ □ EXISTING WETLAND
- ⊕ BORING/NUMBER

USDA-NRCS SOILS, ORANGE COUNTY, FLORIDA

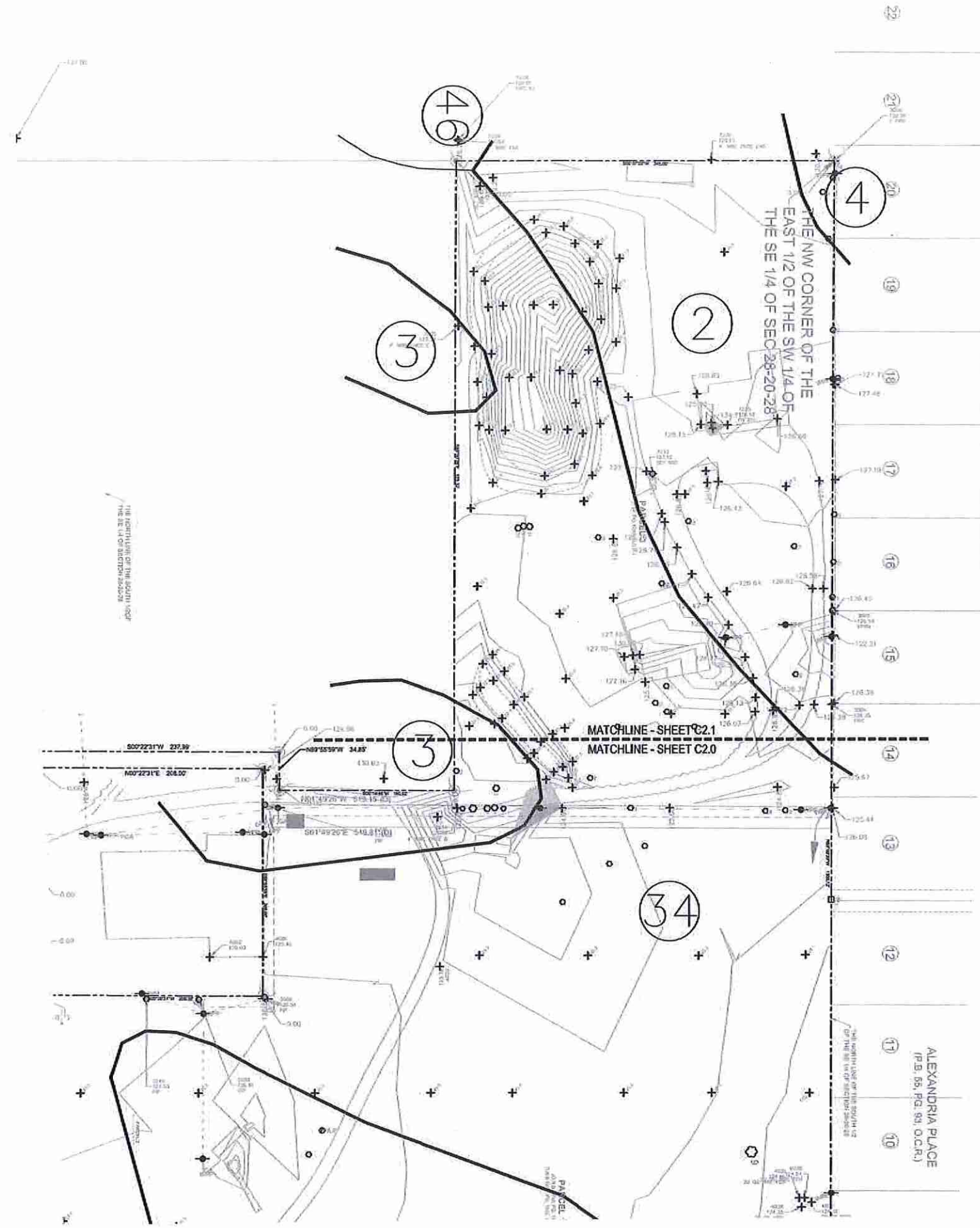
SOIL SYMBOL	NAME
2	ARCHBORD FINE SAND, 0 TO 5 PERCENT SLOPES
3	BASINGER FINE SAND, 5 TO 1 PERCENT SLOPES
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
34	POMELLO FINE SAND, 0 TO 5 PERCENT SLOPES
45	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES

SURVEY PROVIDED BY WC GROUP, LLC DATED 10/12/2017
 VERTICAL DATUM OF 1988 (NAVD 88); BENCHMARK OF ORIGIN;
 ORANGE COUNTY ENGINEERING DEPARTMENT, BENCHMARK "L137003",
 EL. 116.00 (NAVD88) AND BENCHMARK "L1305017", EL.=116.00
 (NAVD88)



WOHLFARTH CONSULTING GROUP LLC <small>ENGINEERS & PLANNERS</small>		<small>246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</small>	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		EXISTING CONDITIONS PLAN	
<small>SCALE 1"=60'</small>	<small>PROJECT 2017-011</small>	<small>CHECKED: RW</small>	<small>DATE: 9/29/2017</small>
<small>PROJECT 2017-011</small>	<small>SHEET C-2.0</small>		
NOT FOR CONSTRUCTION			

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TREE IMPACT SCHEDULE

1 24" Live Oak	Side Yard of Lot 45	Save	
2 15" Live Oak	In Lake	Remove	
3 28" Live Oak	In Backyard Yard Lot 18	Save	
4 40" Laurel Oak	At Laster Entrance	Remove	Tree shows distress and has signs of tree rot
5 38" Laurel Oak	At Laster Entrance	Remove	Tree shows distress and has signs of tree rot
6 12" Maple	Lot 59	Remove	
7 10" Live Oak	In Road	Remove	Tree appears to be dead
8 8" Live Oak	Unit 95	Remove	
9 16" Live Oak	Unit 95	Remove	
10 10" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
11 10" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
12 15" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
13 Sabal Palm	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
14 6" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
15 6" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
16 8" Laurel Oak	Open Space and Buffers near Lots 60 and 61	Save	Clean-up and trim tree
17 15" Mahogany	Unit 61	Remove	
18 15" Sabal Palm	Lot 58	Relocate to 30' Buffer	
19 18" Laurel Oak	Lot 62	Remove	
20 30" Laurel Oak	Road	Remove	
21 Twin Chinese Palms	Road	Relocate to 30' Buffer	
22 Sabal Palms	Lot 87	Relocate to 30' Buffer	
23 34" Laurel Oak	Between Lot 88 and 89	Save	
24 Sabal Palm	Between Lot 88 and 89	Relocate to 30' Buffer	
25 Twin Laurel Oaks	Between Lot 88 and 89	Save	
26 30" Laurel Oak	Lot 85	Save	
27 24" Laurel Oak	Lot 82	Save	
28 35" Laurel Oak	Road	Remove	
29 40" Laurel Oak	Lot 82	Remove	
30 36" Laurel Oak	Lot 66	Remove	
31 Sabal Palm	Lot 67	Relocate to 30' Buffer	
32 Sabal Palm	Lot 67	Relocate to 30' Buffer	
33 Sabal Palm	Lot 67	Relocate to 30' Buffer	
34 Sabal Palm	Lot 67	Relocate to 30' Buffer	
35 Sabal Palm	Lot 67	Relocate to 30' Buffer	
36 Sabal Palm	Lot 67	Relocate to 30' Buffer	
37 Sabal Palm	Lot 67	Relocate to 30' Buffer	
38 Sabal Palm	Lot 67	Relocate to 30' Buffer	
39 Sabal Palm	Lot 67	Relocate to 30' Buffer	
40 Sabal Palm	Lot 67	Relocate to 30' Buffer	
41 Sabal Palm	Lot 67	Relocate to 30' Buffer	
42 48" Live Oak	In Lot 111	Remove	See if lots can be shifted south to save trees
43 43" Live Oak	Between Lots 1 and 2	Save	See if lots can be shifted south to save trees
44 48" Live Oak	Entrance to Recreation Ar	Save	Tree shows distress and has signs of tree rot. Need to see what can be done to save tree
45 12-30" Cluster of Oak In Lot 111		Partial Removal	Trees are worth saving. Shift Lots 103 to 111 North to avoid trees

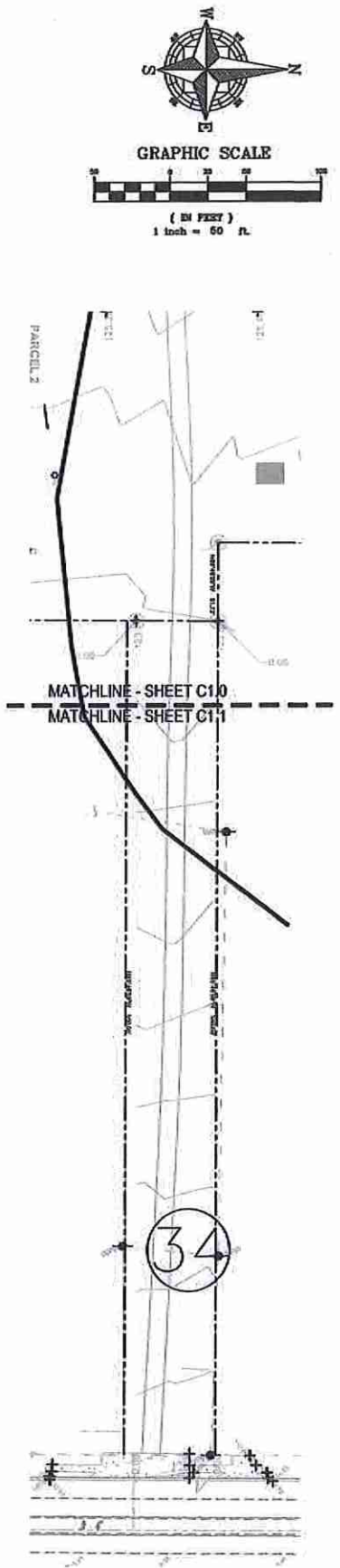
LEGEND:

	EXISTING FLOOD ZONE A
	EXISTING SOILS
	EXISTING TOPOGRAPHIC CONTOUR
	EXISTING WETLAND
	BORING/NUMBER

USDA-NRCS SOILS, ORANGE COUNTY, FLORIDA

SOIL SYMBOL	NAME
2	ARCHBORD FINE SAND, 0 TO 5 PERCENT SLOPES
3	BASINGER FINE SAND, 5 TO 1 PERCENT SLOPES
4	CANDLER FINE SAND, 0 TO 5 PERCENT SLOPES
34	POMELLO FINE SAND, 0 TO 5 PERCENT SLOPES
46	TAVARES FINE SAND, 0 TO 5 PERCENT SLOPES

SURVEY PROVIDED BY WC GROUP, LLC DATED 10/12/2017
 VERTICAL DATUM OF 1988 (NAVD 88); BENCHMARK OF ORIGIN;
 ORANGE COUNTY ENGINEERING DEPARTMENT, BENCHMARK "L137003",
 EL. 116.00 (NAVD88) AND BENCHMARK "L1305017", EL.=116.00 (NAVD88)

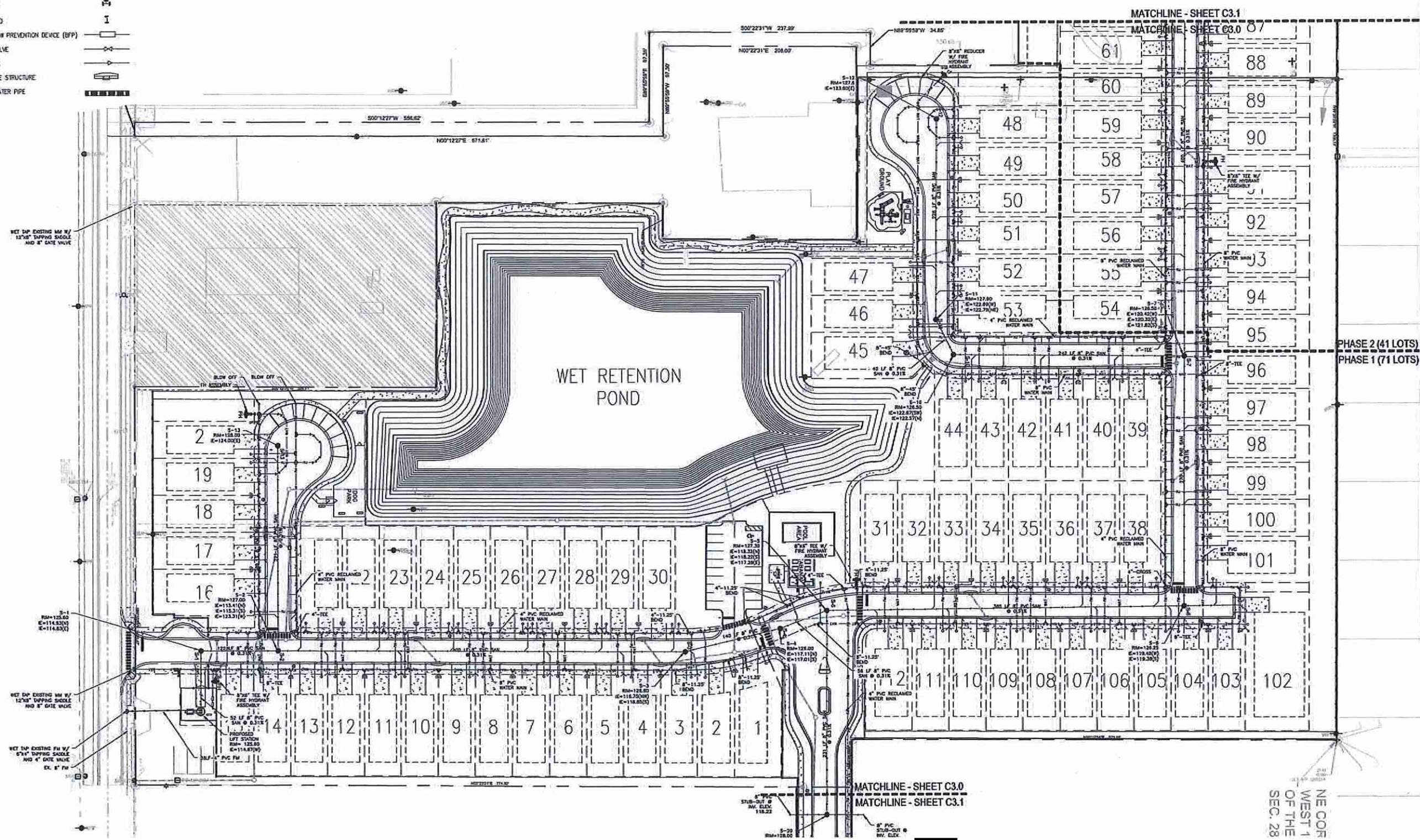
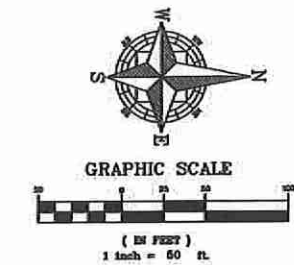


WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		246 N. WESTMONTE DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		EXISTING CONDITIONS PLAN	
SCALE: 1"=50'	PROJECT: 2017-011	CHECKED: RW	DATE: 9/29/2017
DESIGNED: DM	SHEET: C-2.1	DRAWN: DM	
WG GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108			
NOT FOR CONSTRUCTION			
			DESCRIPTION
			DATE
			BY

LEGENDS

PROPOSED

- SANITARY SEWER & MANHOLE
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- RECLAIMED WATER SERVICE
- FORCE MAIN
- RECLAIMED WATER SERVICE
- WATER MAIN
- FIRE HYDRANT
- DOCKA
- FDC
- PVC TEE
- PVC BEND
- BACKFLOW PREVENTION DEVICE (BPP)
- GATE VALVE
- REDUCER
- DRAINAGE STRUCTURE
- STORMWATER PIPE



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		246 N. WESTMONIE DRIVE ALHAMBRA SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		UTILITY SERVICE PLAN	
SCALE 1"=50'	PROJECT 2017-011	CHECKED RW	DATE 7/19/2017
DRAWN DM		DATE 7/19/2017	
DESIGNED DM		DATE 7/19/2017	
PROJECT 2017-011		DATE 7/19/2017	
SHEET C-3.0		DATE 7/19/2017	
GROUP LAND DEVELOPMENT & ENGINEERING SERVICES			
BUSINESS NO. 82108			
NOT FOR CONSTRUCTION			

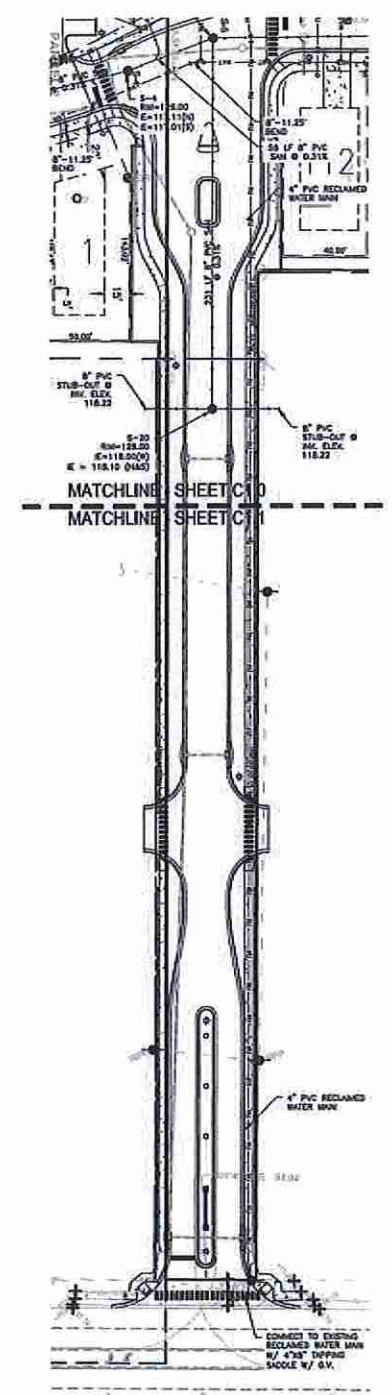
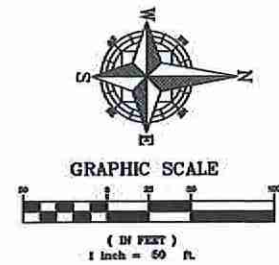
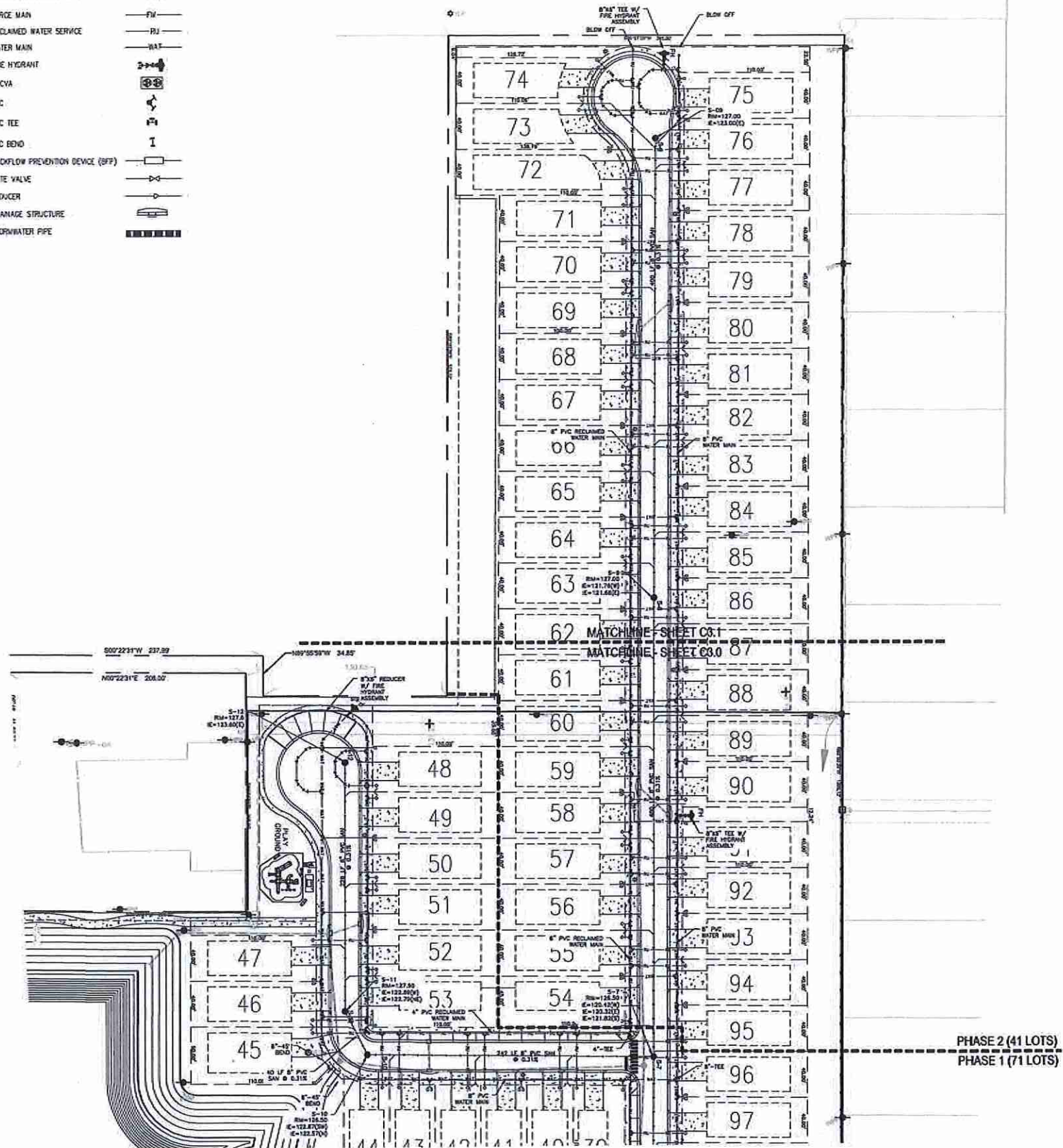
C:\Users\Dennis Murray\Desktop\Dropbox\Wohlforth\San Sebastian\OWC\Preliminary Development Plan\2017-011-C3 - Utility Service Plan.dwg Plot: 2/1/2018 By: dennis.murray

C:\Users\Damian.Murray\Dropbox\Rick.Wohlforth\San_Sebastian\DWG\Preliminary_Development_Plan\2017-011-C3 - Utility Service Plan.dwg Plotted: 2/1/2018 By: damian.murray

LEGENDS

PROPOSED

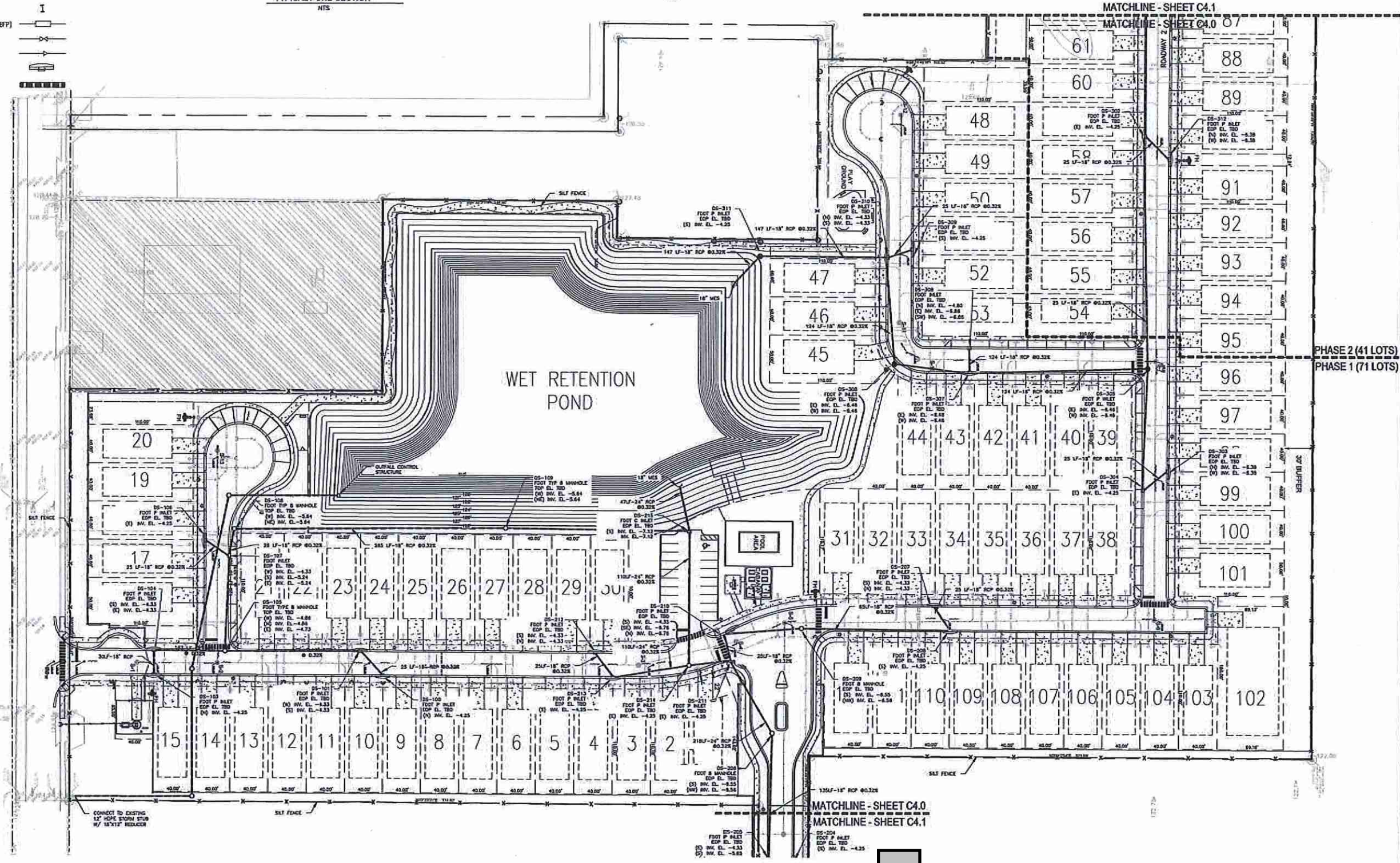
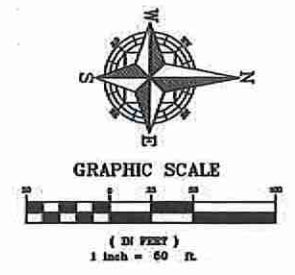
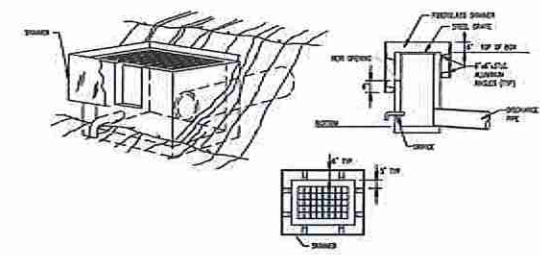
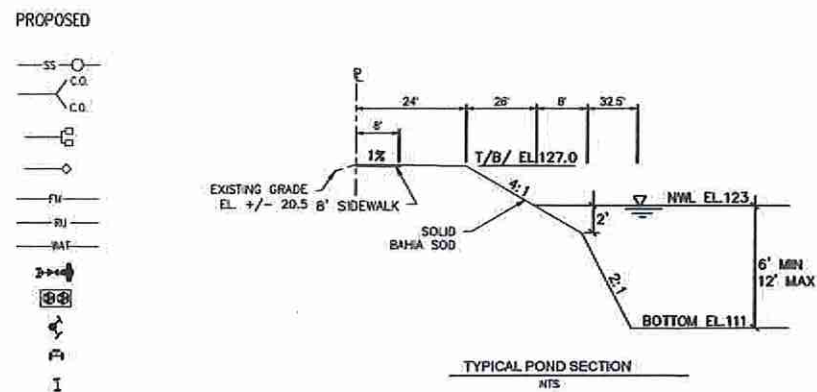
- SANITARY SEWER & MANHOLE
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- RECLAIMED WATER SERVICE
- FORCE MAIN
- RECLAIMED WATER SERVICE
- WATER MAIN
- FIRE HYDRANT
- DOCVA
- FIC
- PVC TEE
- PVC BEND
- BACKFLOW PREVENTION DEVICE (BFD)
- GATE VALVE
- REDUCER
- DRAINAGE STRUCTURE
- STORMWATER PIPE



<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS</p> <p>246 N. WESTMONTE DRIVE ALTIMONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p> <p>UTILITY SERVICE PLAN</p>	
SCALE	1"=50'	PROJECT	2017-011
DESIGNED	DM	CHECKED	RW
DATE	7/19/2017	SHEET	C-3.1
<p>GROUP LAND DEVELOPMENT & ENGINEERING SERVICES</p> <p>BUSINESS NO. 38108</p>		<p>NOT FOR CONSTRUCTION</p> <p>2018</p>	
DATE		DESCRIPTION	BY

LEGENDS

- PROPOSED
- SANITARY SEWER & MANHOLE
- SANITARY SEWER SERVICE
- DOMESTIC WATER SERVICE
- RECLAIMED WATER SERVICE
- FORCE MAIN
- RECLAIMED WATER SERVICE
- WATER MAIN
- FIRE HYDRANT
- DOCK
- FDC
- PVC TEE
- PVC BEND
- BACKFLOW PREVENTION DEVICE (BFP)
- GATE VALVE
- REDUCER
- DRAINAGE STRUCTURE
- STORMWATER PIPE



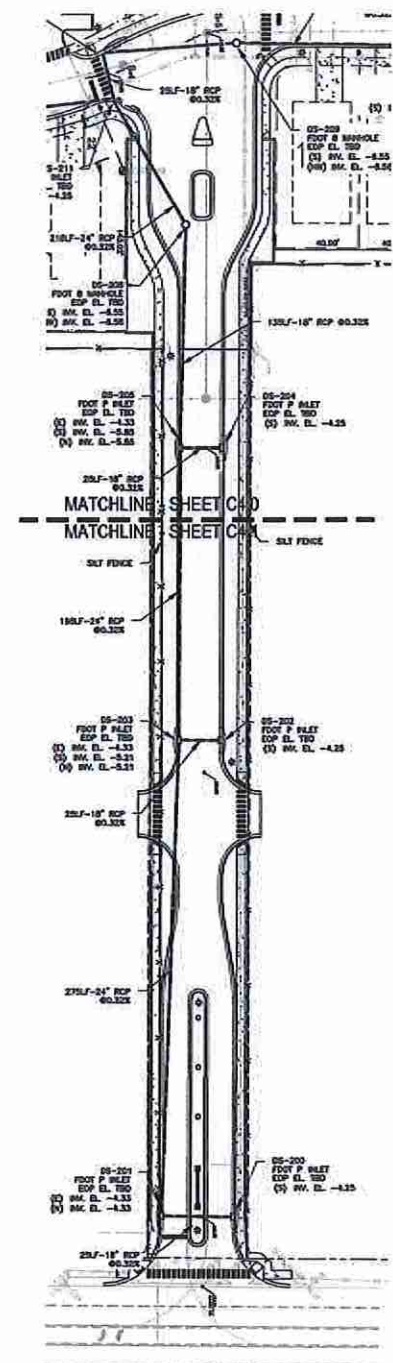
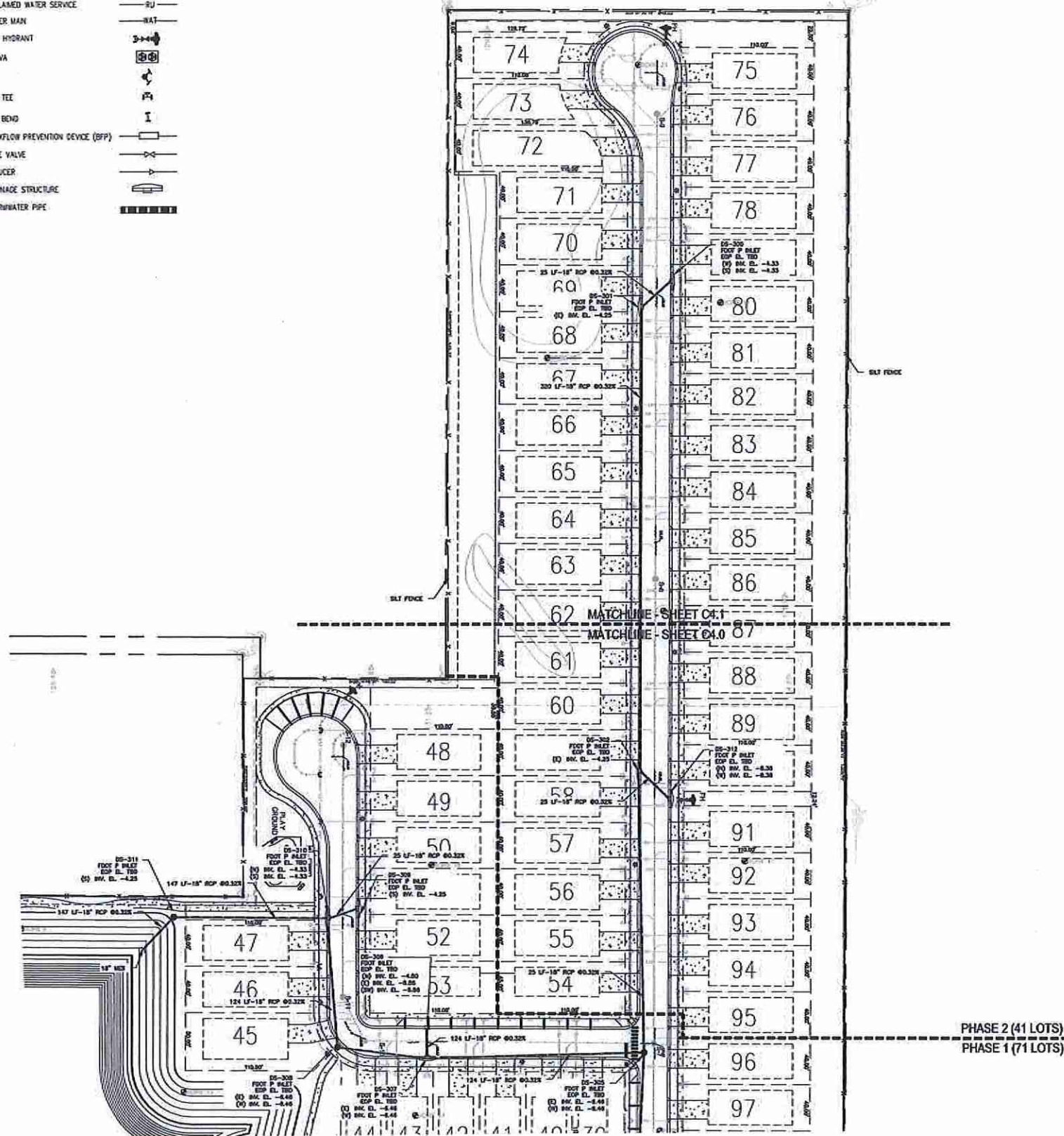
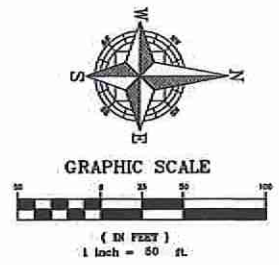
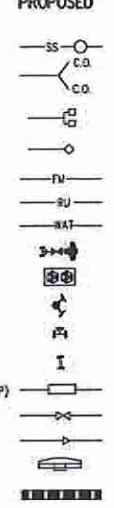
C:\Users\Dennis.Murray\Desktop\Rick.Wohlforth\San Sebastian\DWG\Preliminary Development Plan\2017-011-011-C4- Grading Drainage Plan.dwg Plotted: 2/1/2018 By: dennis.murray

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS		246 N. WESTMONTE DRIVE ALAMONTÉ SPRINGS, FL 32714 (407) 750-3123	
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		GRADING AND DRAINAGE PLAN	
SCALE	1"=50'	PROJECT	2017-011
DRAWN	DM	CHECKED	RW
DESIGNED		DATE	7/23/2017
W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 52108		C-4.0	
NOT FOR CONSTRUCTION			

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LEGENDS

- PROPOSED**
- SANITARY SEWER & MANHOLE
 - SANITARY SEWER SERVICE
 - DOMESTIC WATER SERVICE
 - RECLAIMED WATER SERVICE
 - FORCE MAIN
 - RECLAIMED WATER SERVICE
 - WATER MAIN
 - FIRE HYDRANT
 - DDCVA
 - FDC
 - PVC TEE
 - PVC BEND
 - BACKFLOW PREVENTION DEVICE (BFP)
 - GATE VALVE
 - REDUCER
 - DRAINAGE STRUCTURE
 - STORMWATER PIPE



<p>WOHLFORTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMOUNT DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>DESCRIPTION</p>
<p>GRADING AND DRAINAGE PLAN</p>		<p>REV.</p>
<p>SCALE 1"=50'</p>	<p>PROJECT 2017-011</p>	<p>DATE 7/23/2017</p>
<p>DRAWN: DM</p>	<p>CHECKED: RW</p>	<p>SHEET C-4.1</p>
<p>GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 33108</p>		
<p>NOT FOR CONSTRUCTION</p>		



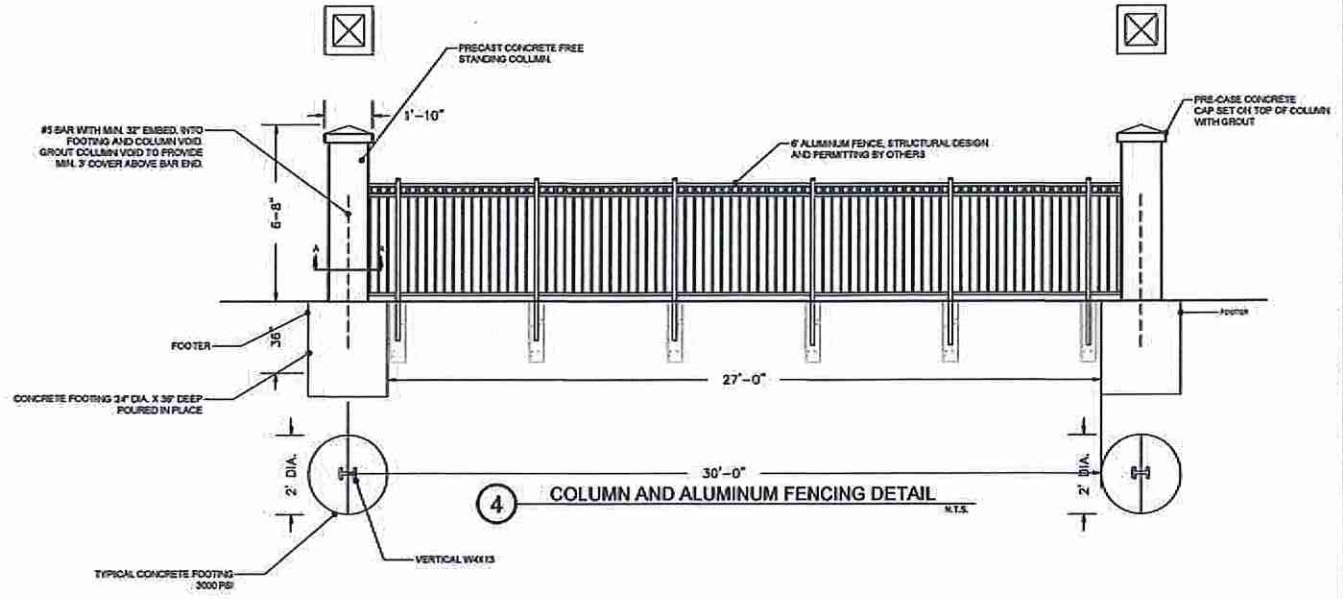
1 STACKED STONE RESIDENTIAL DETAIL



2 TYPICAL 6' PVC FENCE

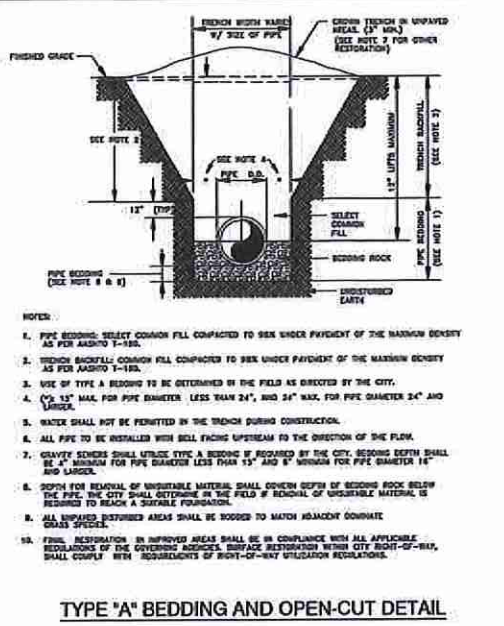
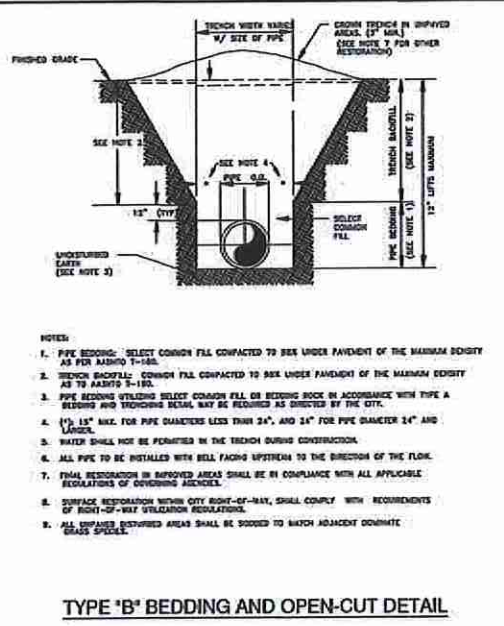


3 PLAYGROUND



5 COLUMN AND ALUMINUM FENCING DETAIL

WOHLFARTH CONSULTING GROUP LLC <small>ENGINEERS & PLANNERS</small> 246 N. WESTMONTE DRIVE ALAQUATE SPRINGS, FL 32714 (407) 750-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA GENERAL DETAILS	DRAWN: DM DESIGNED: DM CHECKED: RW DATE: 10/1/2017
SCALE: N/A PROJECT: 2017-011 SHEET: C-5.0	W GROUP <small>LAND DEVELOPMENT & ENGINEERING SERVICES</small> BUSINESS NO. 32108		11/15/17 NOT FOR CONSTRUCTION



RESTRAINED PIPE TABLE (PVC)

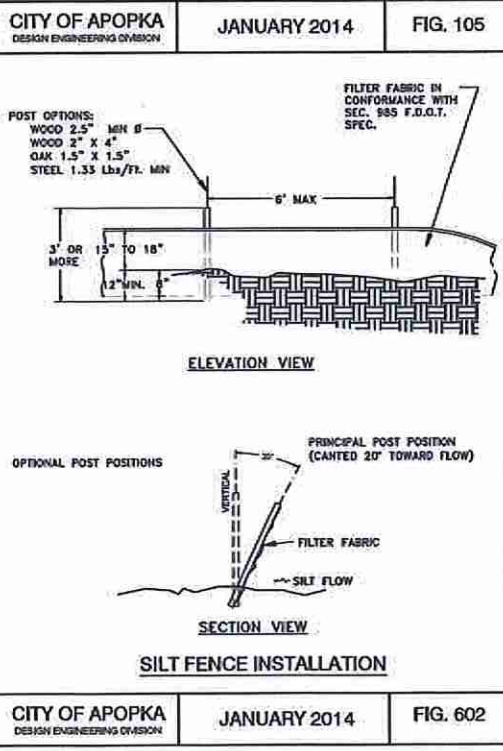
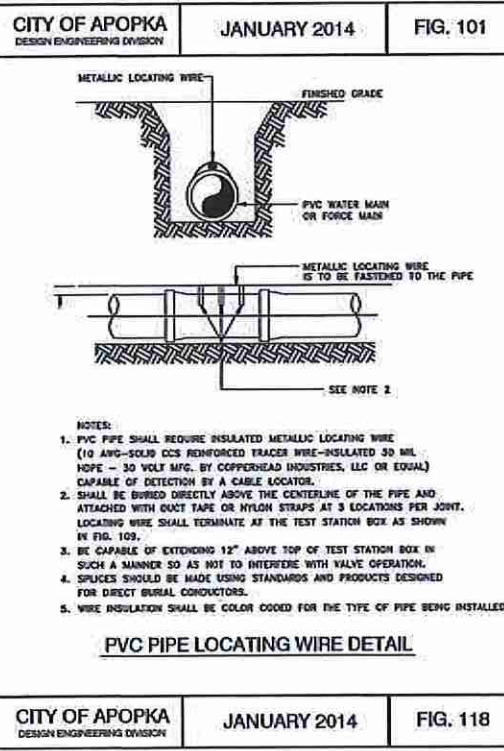
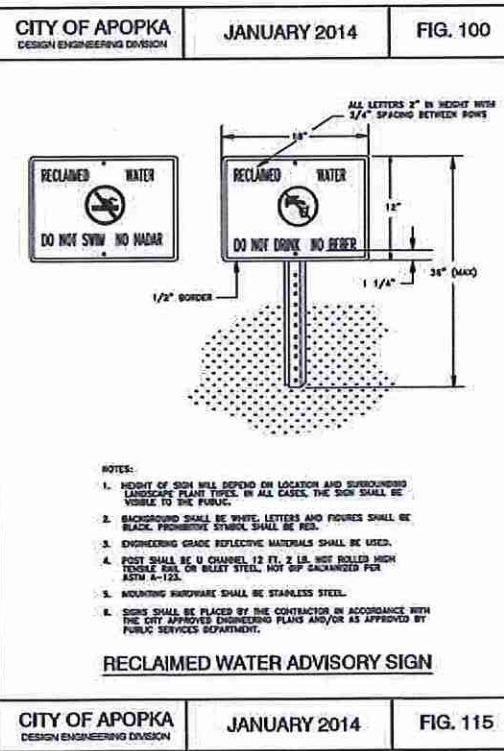
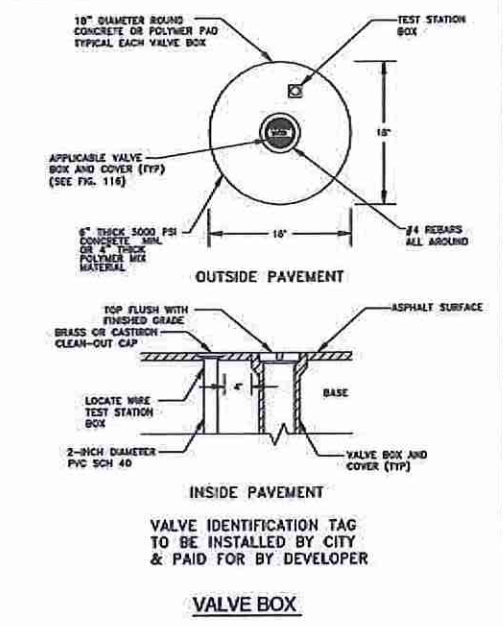
MINIMUM LENGTH (FT) TO BE RESTRAINED ON EACH SIDE OF FITTING(S). *

	PIPE SIZE											
	6"	8"	10"	12"	16"	18"	20"	24"	30"	36"	48"	
90° BEND	33	43	51	60								
45° BEND	14	18	22	25								
22-1/2° BEND	7	9	11	12								
11-1/4° BEND	4	5	6	6								
TEE**	1	7	24	44								
REDUCER (ONE SIZE SMALLER)			41	39	40							
DEAD END	74	96	115	136								

* ONLY RESTRAIN BRANCH PIPE FOR TEES. ONLY RESTRAIN LARGER PIPE FOR REDUCERS
** LENGTH ALONG RUN ASSUMED TO BE 18'

NOTES:

- FITTINGS SHALL BE DUCTILE IRON RESTRAINED JOINT TYPE. FN FITTINGS TO BE LINED WITH PROTECTO 401.
- INSTALL FULL LENGTHS OF PIPE WITH TOTAL LENGTH CONTAINING ONLY RESTRAINED JOINTS EQUAL TO OR GREATER THAN LENGTH SHOWN IN TABLE.
- WHERE TWO OR MORE FITTINGS ARE TOGETHER, USE FITTING WHICH YIELDS GREATEST LENGTH OF RESTRAINED PIPE.
- IN LINE VALVES AND THROUGH RUNS OF TEES OUTSIDE LIMITS OF RESTRAINED JOINTS FROM OTHER FITTINGS NEED NOT BE RESTRAINED UNLESS OTHERWISE INDICATED.
- LENGTHS SHOWN IN THE TABLE HAVE BEEN CALCULATED IN ACCORDANCE WITH THE PROCEDURE OUTLINED BY "THRUST RESTRAINT DESIGN FOR DUCTILE IRON PIPE" AS PUBLISHED BY DIPRA, FOR PVC WITH THE FOLLOWING ASSUMPTIONS:
TYPE OF PIPE: PVC
NOMINAL PRESSURE: 150 P.S.I.**
SOIL DESIGNATION: MEDIUM SOIL LAYING CONDITIONS: S
- FOR PIPE ENCASED IN POLYETHYLENE INCREASE THE GIVEN VALUE BY A FACTOR OF 1.5.
- VALUES NOT LISTED IN THE TABLE TO BE COMPLETED BY THE ENGINEER.



CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 115

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 118

CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

FIG. 602

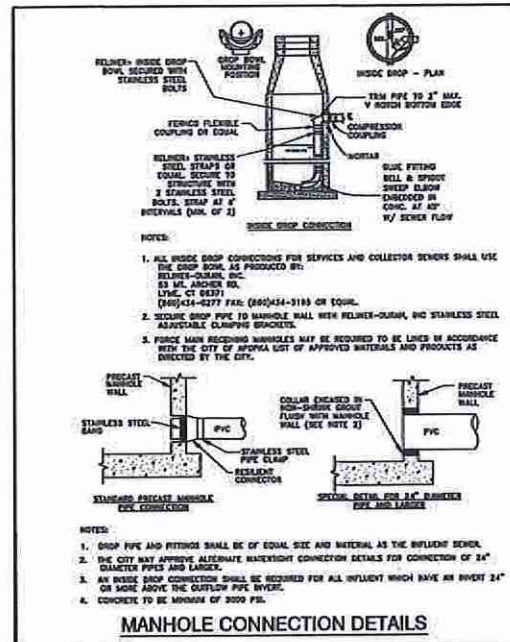
CITY OF APOPKA
DESIGN ENGINEERING DIVISION

JANUARY 2014

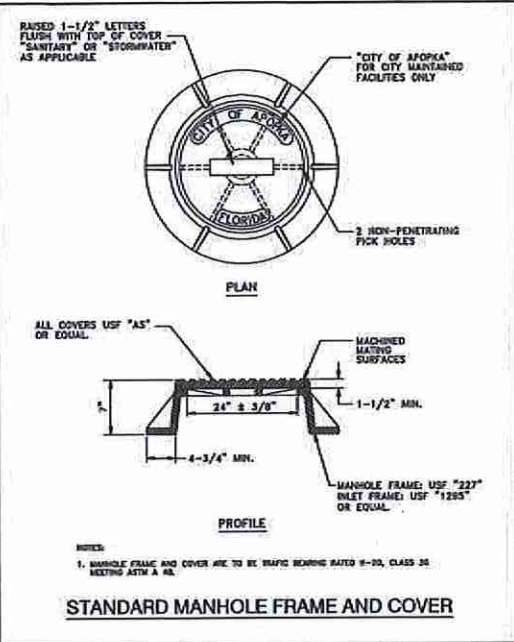
FIG. 109

G:\Users\Demaris Murrey\Dropbox\Rick Wohlforth\San Sebastian\DWG\2017-01-C51-1-City Details.dwg Plot Date: 12/17/2017 By: demaris murrey

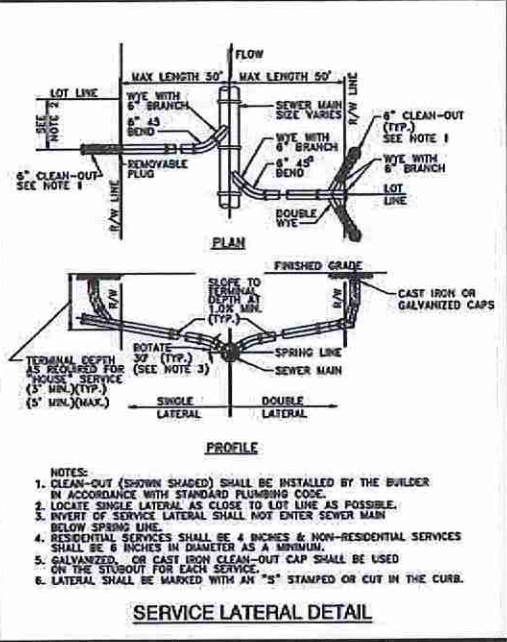
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALFAMONTE SPRINGS, FL 32714 (407) 750-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA CITY OF APOPKA STANDARD DETAILS	SCALE: N/A PROJECT: 2017-011 SHEET: C-5.1 DRAWN: DM DESIGNED: DM CHECKED: RW DATE: 12/17/2017	BUSINESS NO. 32108 NOT FOR CONSTRUCTION 12/17/17
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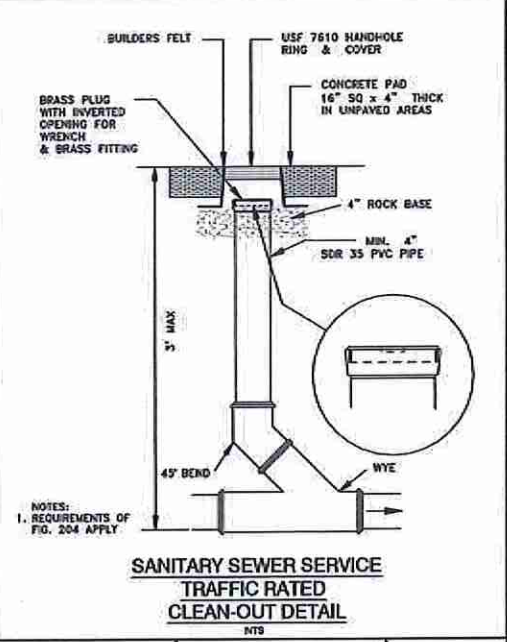
CITY OF AOPKA JANUARY 2015 FIG. 201



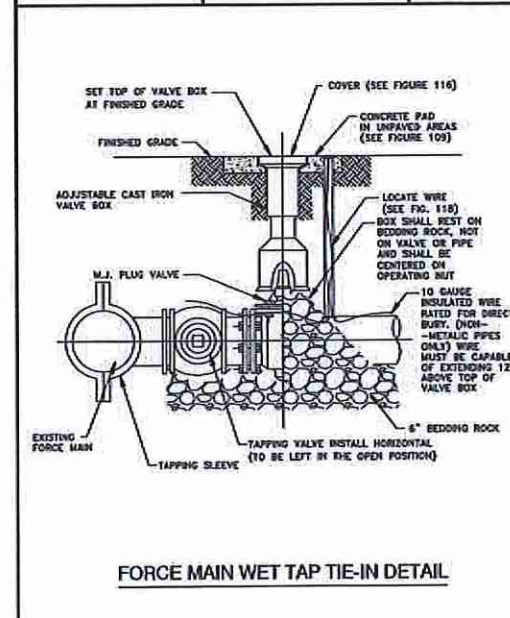
CITY OF AOPKA JANUARY 2014 FIG. 202



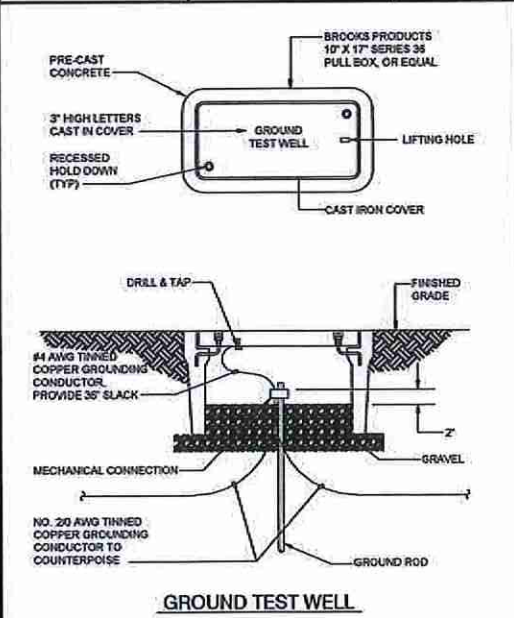
CITY OF AOPKA JANUARY 2014 FIG. 204



CITY OF AOPKA JANUARY 2014 FIG. 205



CITY OF AOPKA JANUARY 2014 FIG. 206



CITY OF AOPKA JANUARY 2014 FIG. 307 B

NO.	REV.	DATE	DESCRIPTION

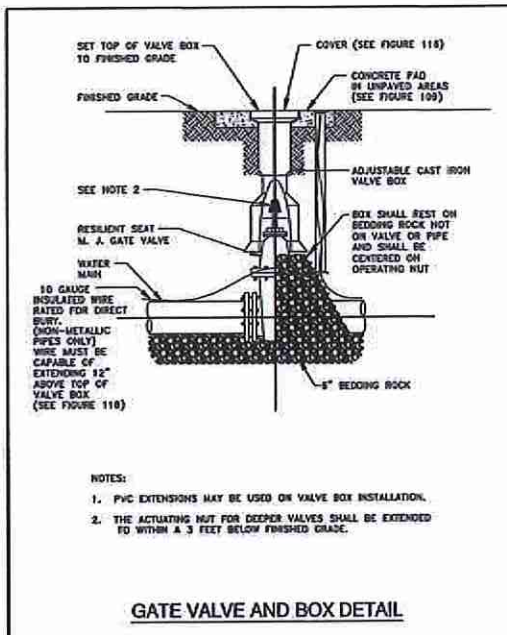
WOHLFARTH CONSULTING GROUP LLC
 ENGINEERS & PLANNERS
 246 N. WESTMONIE DRIVE
 ALTHAMORE SPRINGS, FL 32714
 (407) 250-3123

SAN SEBASTIAN RESERVE
 ORANGE COUNTY, FLORIDA
CITY OF AOPKA
 STANDARD DETAILS

SCALE	N/A
PROJECT	2017-011
SHEET	C-5.2
DATE	12/17/2017

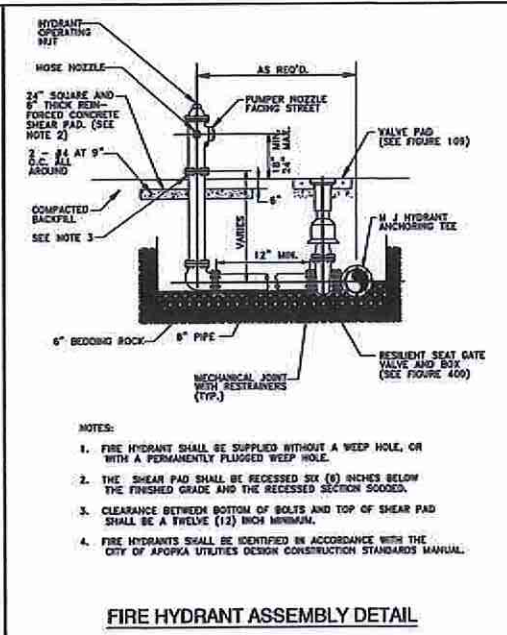
W GROUP
 LAND DEVELOPMENT & ENGINEERING SERVICES
 BUSINESS NO. 32108

NOT FOR CONSTRUCTION
 12/17/17



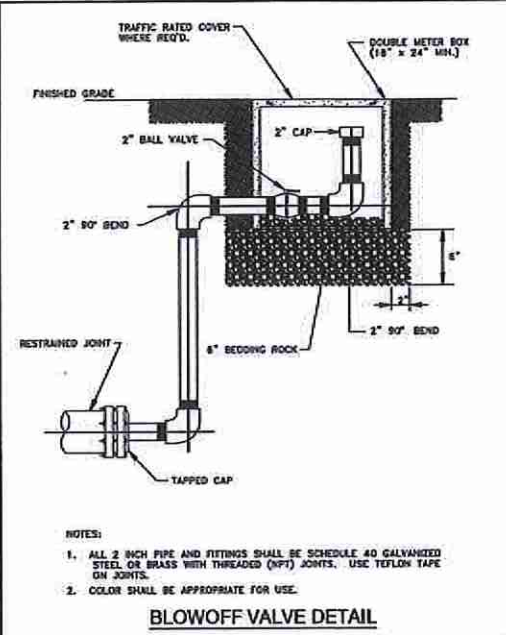
- NOTES:
1. PVC EXTENSIONS MAY BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO WITHIN A 3 FEET BELOW FINISHED GRADE.

GATE VALVE AND BOX DETAIL



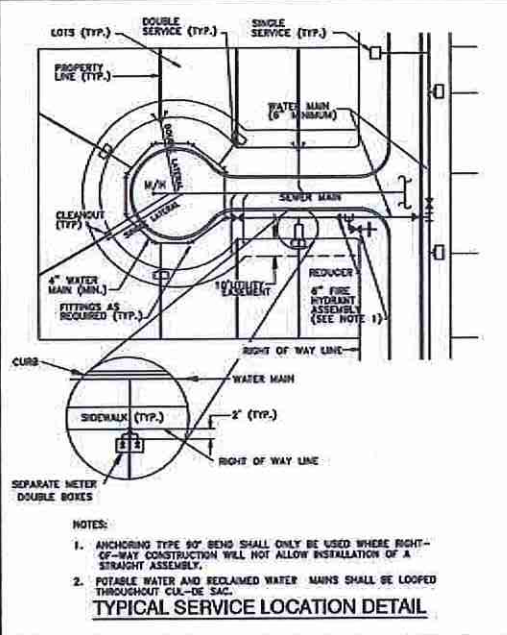
- NOTES:
1. FIRE HYDRANT SHALL BE SUPPLIED WITHOUT A WEEP HOLE, OR WITH A PERMANENTLY PLUGGED WEEP HOLE.
 2. THE SHEAR PAD SHALL BE RECESSED SIX (6) INCHES BELOW THE FINISHED GRADE AND THE RECESSED SECTION SLOPED.
 3. CLEARANCE BETWEEN BOTTOM OF BOLTS AND TOP OF SHEAR PAD SHALL BE A TWELVE (12) INCH MINIMUM.
 4. FIRE HYDRANTS SHALL BE IDENTIFIED IN ACCORDANCE WITH THE CITY OF APOPKA UTILITIES DESIGN CONSTRUCTION STANDARDS MANUAL.

FIRE HYDRANT ASSEMBLY DETAIL



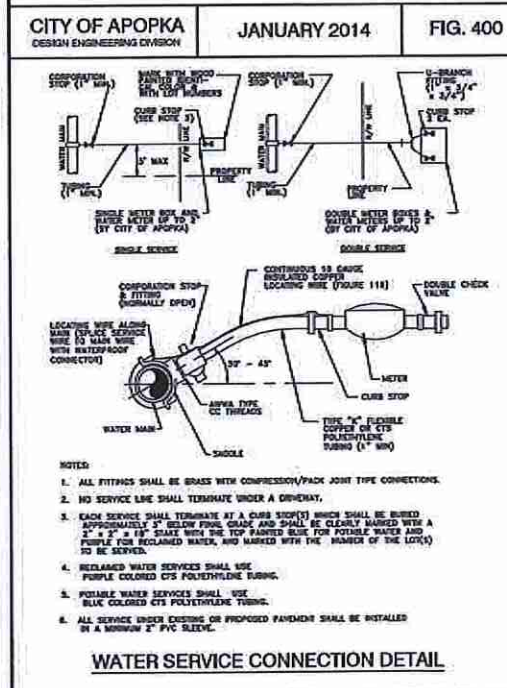
- NOTES:
1. ALL 2 INCH PIPE AND FITTINGS SHALL BE SCHEDULE 40 GALVANIZED STEEL OR BRASS WITH THREADED (NPT) JOINTS. USE TEFLON TAPE ON JOINTS.
 2. COLOR SHALL BE APPROPRIATE FOR USE.

BLOWOFF VALVE DETAIL



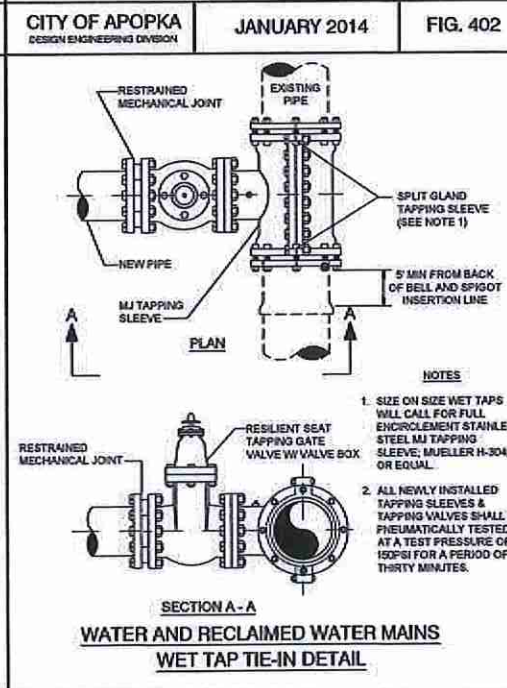
- NOTES:
1. ANCHORING TYPE 90° BEND SHALL ONLY BE USED WHERE RIGHT-OF-WAY CONSTRUCTION WILL NOT ALLOW INSTALLATION OF A STRAIGHT ASSEMBLY.
 2. POTABLE WATER AND RECLAIMED WATER MAINS SHALL BE LOOPED THROUGHOUT CUR-DE-SAC.

TYPICAL SERVICE LOCATION DETAIL



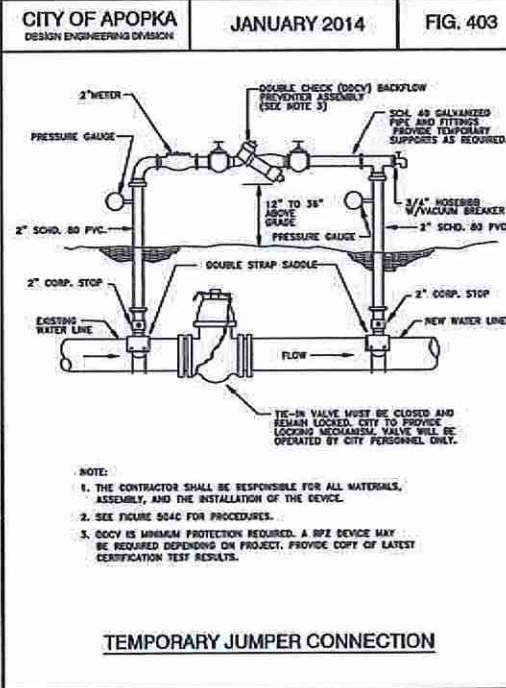
- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/PACK JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE SHALL TERMINATE AT A CURB STOP(S) WHICH SHALL BE BURIED APPROXIMATELY 1\"/>

WATER SERVICE CONNECTION DETAIL



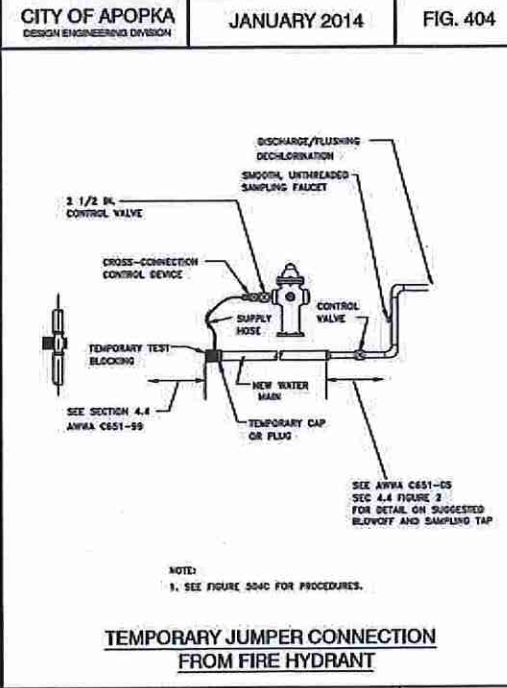
- NOTES:
1. SIZE ON SIZE WET TAPS WILL CALL FOR FULL ENCRUSTMENT STAINLESS STEEL M.J. TAPPING SLEEVE, MUELLER H-304, OR EQUAL.
 2. ALL NEWLY INSTALLED TAPPING SLEEVES & TAPPING VALVES SHALL BE PNEUMATICALLY TESTED AT A TEST PRESSURE OF 150PSI FOR A PERIOD OF THIRTY MINUTES.

**SECTION A-A
WATER AND RECLAIMED WATER MAINS
WET TAP TIE-IN DETAIL**



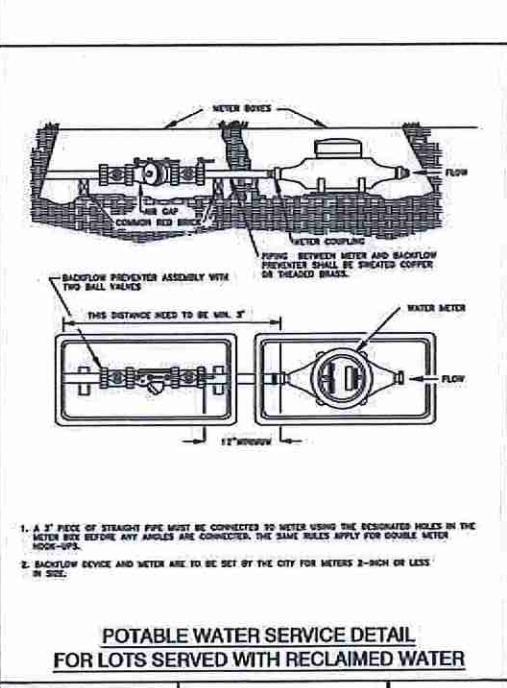
- NOTE:
1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS, ASSEMBLY, AND THE INSTALLATION OF THE DEVICE.
 2. SEE FIGURE 504C FOR PROCEDURES.
 3. 600V IS MINIMUM PROTECTION REQUIRED. A RPE DEVICE MAY BE REQUIRED DEPENDING ON PROJECT. PROVIDE COPY OF LATEST CERTIFICATION TEST RESULTS.

TEMPORARY JUMPER CONNECTION



- NOTE:
1. SEE FIGURE 504C FOR PROCEDURES.

**TEMPORARY JUMPER CONNECTION
FROM FIRE HYDRANT**



- NOTES:
1. A 3\"/>

**POTABLE WATER SERVICE DETAIL
FOR LOTS SERVED WITH RECLAIMED WATER**

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 400

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 402

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 403

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 404

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 405

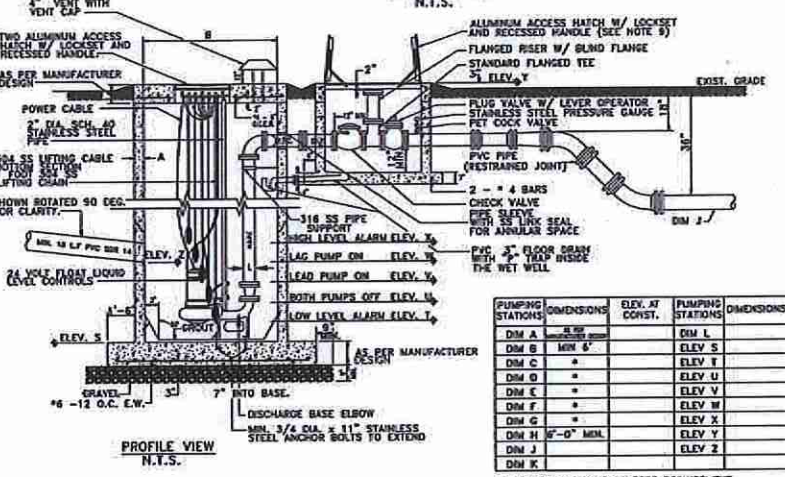
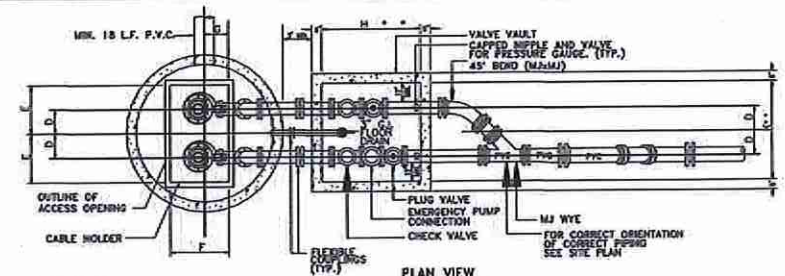
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 406

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 504 A

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 504 B

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 505

<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123</p>	
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>	
<p>CITY OF APOPKA STANDARD DETAILS</p>	
<p>SCALE: N/A</p>	<p>PROJECT: 2017-011</p>
<p>DESIGNED: [blank]</p>	<p>CHECKED: RY</p>
<p>DATE: 12/17/2017</p>	<p>SHEET: C-5-3</p>
<p>12/17/17</p>	
<p>NOT FOR CONSTRUCTION</p>	

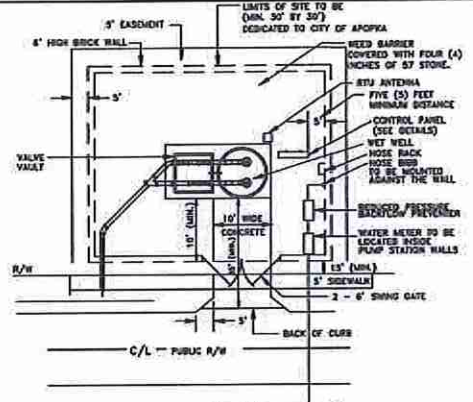


PUMPING STATION	DIMENSIONS	ELEV. AT CONST.	PUMPING STATIONS	DIMENSIONS	ELEV. AT CONST.
DM A	18\"/>				

- GENERAL NOTES:**
- VALVE VAULT AND WET WELL LIDS SHALL BE COATED WITH 1 COAT OF THEMEC SERIES 66, COLOR DIOX, (2-3 MILS), FOLLOWED BY TOP COAT OF THEMEC SERIES 73, COLOR ENDS, (2-3 MILS) OR EQUAL.
 - THE WET WELL SHALL BE CONSTRUCTED OF FIBERGLASS REINFORCED POLYESTER (FRP) AND MANUFACTURED FROM COMMERCIAL GRADE POLYESTER RESIN OR VINYL ESTER RESIN, WITH FIBERGLASS REINFORCEMENTS. THE WET WELL SHALL BE A ONE PIECE UNIT AND MANUFACTURED BY L.F. MANUFACTURE, INC. OR EQUAL.
 - IN LIEU OF FRP THE WET WELL MAY BE CONSTRUCTED OF PRECAST CONCRETE HAVING A MINIMUM WALL THICKNESS OF 8 INCHES. THE INTERIOR WALLS SHALL BE LINED USING A HIGH DENSITY POLYETHYLENE PRODUCT AS MANUFACTURED BY AGRI SURF OR EQUAL.
 - PIPING IN THE WET WELL TO BE HOPE WITH FLEXOR 45 DEGREE FITTINGS FROM WET WELL TO VALVE VAULT.
 - INTERIOR OF THE VALVE VAULT AND PIPING IN THE VALVE VAULT WITH CONSOLO CS-55 (OR EQUAL), TWO COATS, 4 MILS EACH. PIPING SHALL BE COATED AFTER INSTALLATION.
 - VALVE VAULT SHALL BE SIZED TO PERMIT EASY REMOVAL OF CHECK VALVE SPOKES WITH MINIMUM CLEARANCES AS SHOWN FOR 6\"/>

PUMP STATION DETAIL

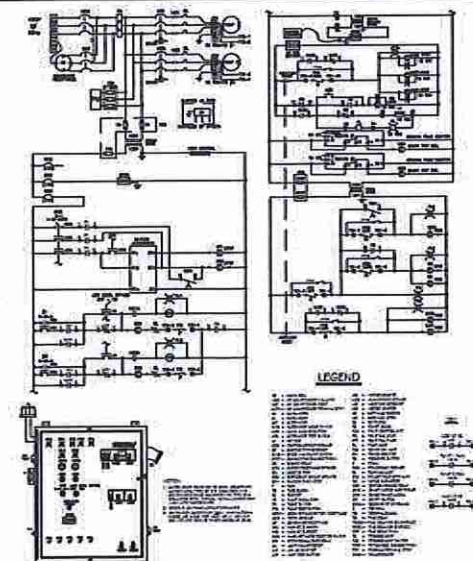
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 301



- NOTES:**
- DRIVEWAY AND APRON SHALL BE SIX (6) INCH THICK, 3000 P.S.I. CONCRETE, WITH 3/8\"/>

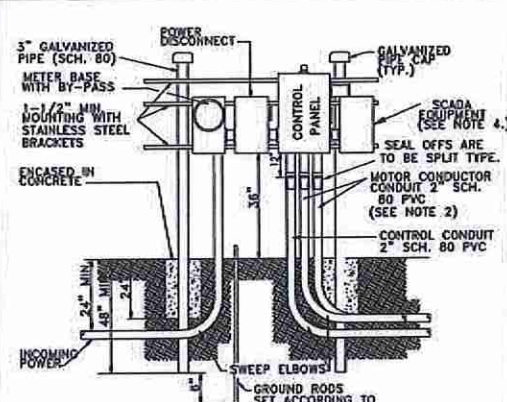
PUMP STATION TYPICAL SITE PLAN

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 300



DUPLIX PUMP CONTROL PANEL GENERAL LAYOUT & SCHEMATIC

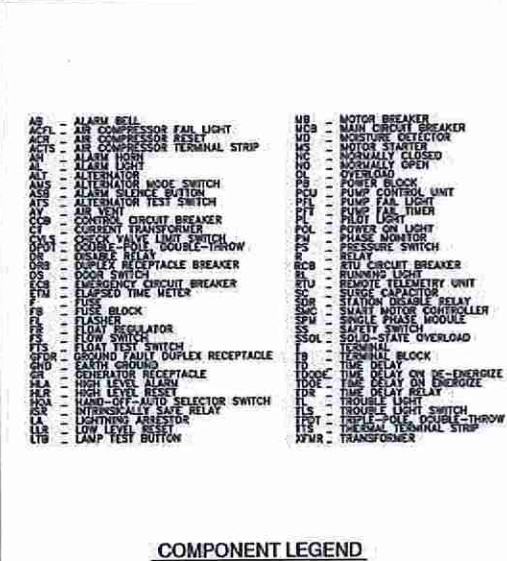
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 305 C



- NOTES:**
- DRAWING IS SHOWN FOR 230 VOLT POWER SUPPLY. THE LOCATION OF METER AND MAIN POWER DISCONNECT SHALL BE REVERSED FOR 480 VOLT SUPPLY.
 - WHEN TWO (2) SEPARATE CONDUCTOR-TYPE MOTORS ARE USED, CONDUIT SHALL BE INCREASED TO THREE (3) INCH.
 - POWER SUPPLY SHALL BE UNDERGROUND TO THE PUMP STATION AND SHALL BE THREE (3) PHASE FROM A THREE (3) PHASE SOURCE ONLY.
 - STUB OUT UNISTRUT LONG ENOUGH TO ACCOMMODATE A 24\"/>

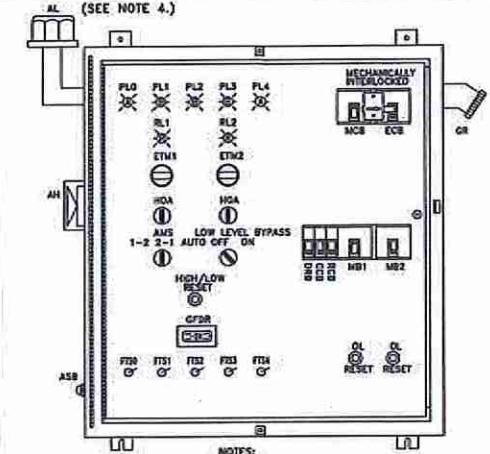
DUPLIX PUMP STATION CONTROL PANEL INSTALLATION DETAIL

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 302



COMPONENT LEGEND

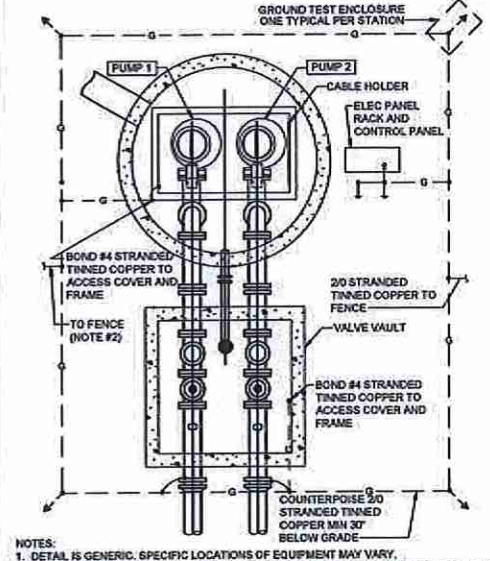
CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 306



- NOTES:**
- OUTER DOOR REMOVED TO SHOW DEADFRONT LAYOUT. NEMA TYPE 3R 304 S.S. ENCL. WITH CONTINUOUS HINGE. ALL HARDWARE STAINLESS STEEL. TYPICAL ACTUAL LAYOUT MAY VARY WITH HORSEPOWER.
 - SERIES 3 (O-FRAME) CIRCUIT BREAKERS.
 - GENERATOR OUTLET FOR 230V - PYLE NATIONAL MODEL JRE400/400V - GROSSHERS MODEL AR 204Z.
 - THE HEIGHT OF THE ALARM LIGHT WILL NEED TO BE MADE VISIBLE FROM OUTSIDE THE LIFT STATION.

DUPLIX PUMP STATION CONTROL PANEL FRONT LAYOUT

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 303



- NOTES:**
- DETAIL IS GENERIC. SPECIFIC LOCATIONS OF EQUIPMENT MAY VARY.
 - TIE TO FENCE. MINIMUM 2 LOCATIONS. NOT REQUIRED WHERE PVC COATED OR BLOCK FENCE IS INSTALLED.
 - PROVIDE EXOTHERMIC WELDS UNLESS NOTED OTHERWISE.

PUMP STATION GROUNDING (TYPICAL)

CITY OF APOPKA DESIGN ENGINEERING DIVISION JANUARY 2014 FIG. 307

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
216 N. WESTMONTE DRIVE
ALAMONTA SPRINGS, FL 32714
(407) 750-3125

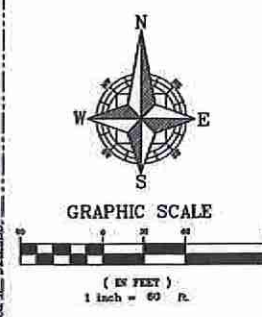
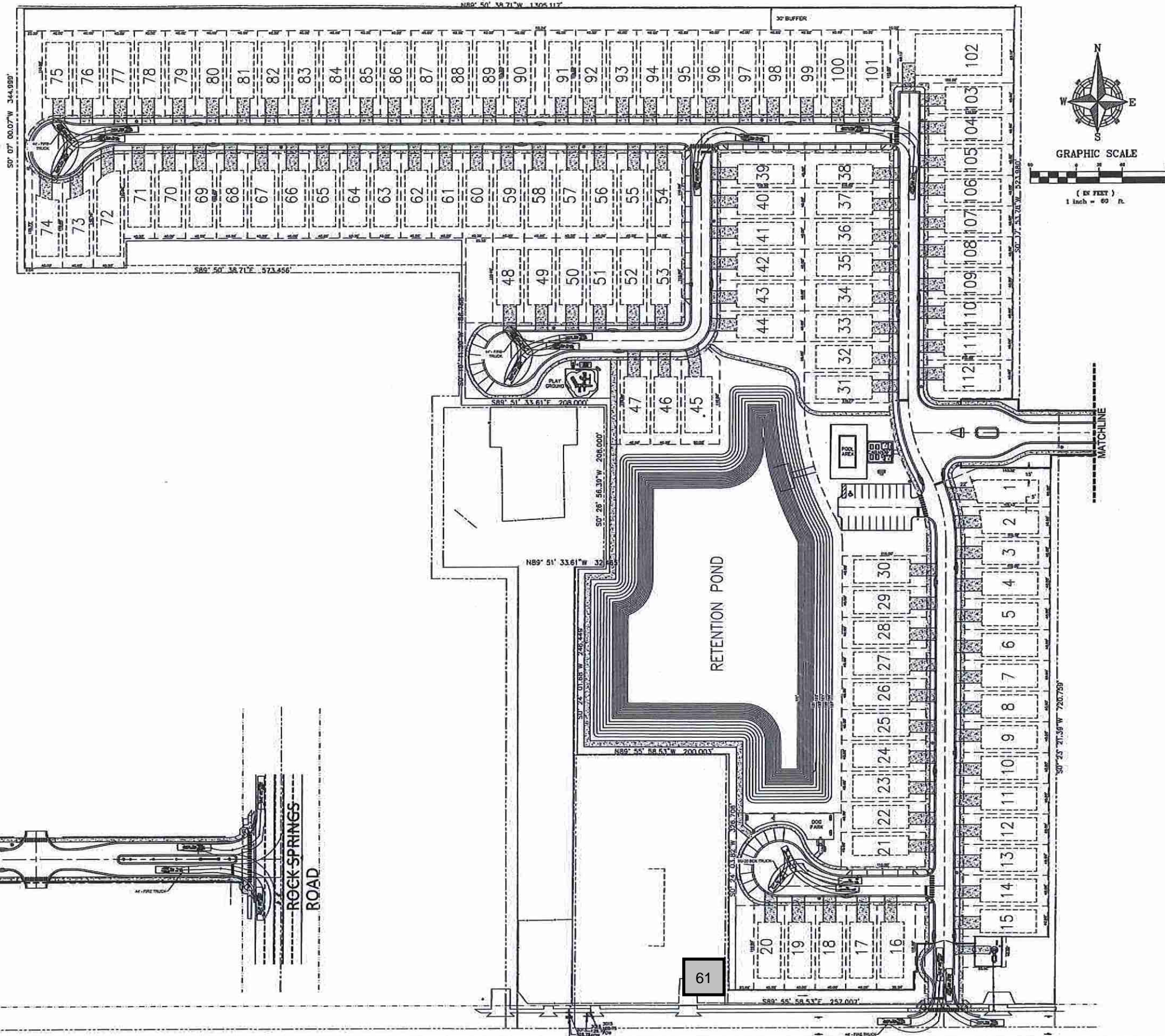
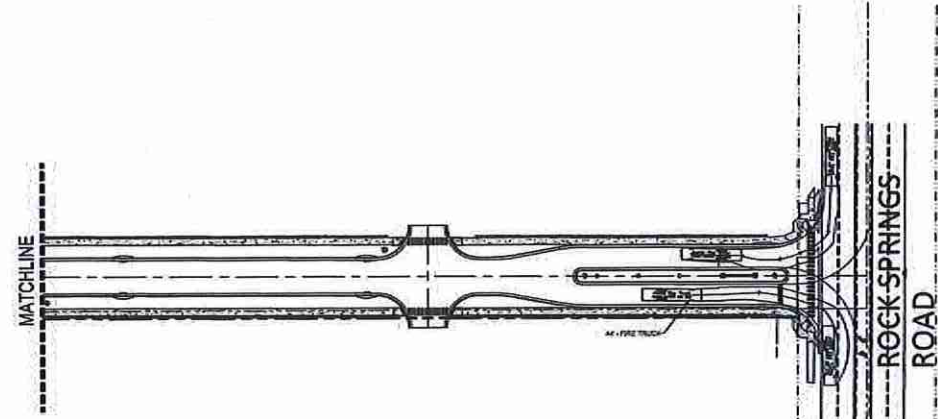
SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA

CITY OF APOPKA
STANDARD DETAILS

SCALE	N/A	PROJECT	2017-011
DESIGNED	DM	CHECKED	RW
DATE	12/17/2017	SHEET	C-5.4

W GROUP
LAND DEVELOPMENT & ENGINEERING SERVICES
BUSINESS NO. 32108

NOT FOR CONSTRUCTION



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123		DATE	DESCRIPTION
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		TRUCK TURN ANALYSIS	
SCALE	DRAWN		
1"=60'	DM		
PROJECT	DESIGNED		
2017-011			
SHEET	CHECKED		
C-6.0	RW		
	DATE		
	1/17/2018		
LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108		NOT FOR CONSTRUCTION 10/18	

LANDSCAPE GENERAL NOTES

- All existing trees to remain and all relocated plant material shall be protected from damage or injury and shall be barricaded or otherwise suitably flagged and protected from injury.
- The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- The Contractor is responsible to ensure proper watering and maintenance of new and relocated materials during the warranty period.
- Contractor is to report any discrepancies between the construction drawings and field conditions to the Owner immediately.
- The Contractor shall be responsible for the guarantee of all plant material for a period of twelve (12) months from the date substantial completion. Substantial completion constitutes the beginning of guarantee period.
- Contractor shall familiarize himself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage throughout all construction phases unless otherwise noted.
- Landscape Contractor shall coordinate all work with related contractors and with the general contractor of the project in order to expedite the progress of the work of others or the Contractor's own work. Landscape contractor shall provide schedule of his/her works two weeks in advance, beginning two weeks prior to commencing landscape trade construction.
- Contractor shall be responsible to remove existing ground cover for all planting beds as specified prior to planting relocated material. Contractor shall be responsible to replace all portions of existing landscape and landscape areas damaged while completing planting installation with same grass or materials species to the satisfaction of the Owner.
- The Contractor shall bear all costs of testing of soils, amendments, etc. associated with the work and included in the specifications. Prior to commencement of the landscape planting work the Contractor shall provide complete soil tests with recommendations for the installation area.
- All plant material that may need to be replaced shall be in full and strict accordance to Florida No. 1 grade, according to the "Grades and Standards for Nursery Plants", published by the Florida Department of Agriculture and Consumer Services, the project manual and/or specifications. Plant material in some cases may exceed Florida No. 1 grade in order to meet the minimum requirements for the project.
- Landscape Contractor shall field stake the location of all plant material prior to initiating installation for the review and approval of the Owner and/or Landscape Architect.
- Landscape Contractor shall field adjust location of plant material as necessary to avoid damage to all existing underground utilities and/or existing above ground elements. All changes required shall be completed at the Contractor's expense and shall be coordinated with the Owner and the Landscape Architect.
- Any substitutions in size and/or plant material must be approved by the Landscape Architect or Owner prior to modification of the contract, purchasing and delivery of plants. All plants will be subject to approval by Landscape Architect and/or Owner before planting can begin. All plant materials will not include any plants considered to be invasive to South Florida's native plant communities.
- Contractor shall refer to the landscape planting details, general notes and the project manual and/or specifications for further and complete landscape planting instructions.
- Landscape Contractor shall coordinate all planting work with permanent or temporary irrigation work. Landscape Contractor shall be responsible for all hand watering as required by Owner to supplement irrigation watering and rainfall. Landscape Contractor shall be responsible for hand watering in all planting areas, regardless of the status of existing or proposed irrigation.
- Landscape Contractor shall clean the work areas at the end of each working day. Rubbish and debris shall be collected and deposited off-site daily. All materials, products and equipment shall be stored in an organized fashion as directed by the Owner.
- Landscape Contractor shall regrade all areas disturbed by plant removal, relocation and/or installation work. Landscape Contractor shall replace (by equal size and quality) any and all existing plant material disturbed or damaged by plant removal, relocation, and/or installation work.
- Site distance concerns must be maintained for clear site-visibility from thirty (30) inches to seventy (72) inches, tree trunks excluded as specified.
- Guying / staking practices shall not permit nails, screws, wires etc., to penetrate outer surface of tree or palm. Trees or palms rejected due to this practice shall be replaced at the Contractor's expense.
- Burlap material, wire cages, plastic straps, etc., must be cut and removed from top one-third (1/3) of root ball. Remove all nylon non-organic material.
- Trees grown in grow bags or grow big type material are not allowed.
- All planting materials shall meet or exceed Florida Grade # 1 as specified in Grades and Standards for Nursery Plants and Part II, Palms and Trees, current edition.
- All installed landscape and design specifications shall meet or exceed the minimum requirements as shown in the City of Apopka Development Code.
- The Contractor shall not relocate or demolish any existing trees or palms on site before appropriate tree relocation and clearing and grubbing permits are obtained from the ADJ.

TREE PROTECTION AND RELOCATION NOTES

- GENERAL NOTE:**
All trees and palms will be evaluated for protection and relocation. Relocated trees will be handled in accordance with the following specifications. Trees to be removed will be mitigated as required.
- WORK TO BE PERFORMED AND WORK INCLUDED**
 - Provide the following:
Prepare and regrade trees and palms designated for relocation within the project boundaries including holding areas, to include all aspects of preparation, acclimatization, holding, relocation, protection, and maintenance.
Protection and care of existing trees and palms to remain within the project boundaries.
1. Installation and operation of temporary irrigation system and hand watering as required by these specifications.
2. Establishment of holding areas as necessary to support the phasing of the project.
3. Follow-up maintenance as required by these specifications.
4. Labor, materials, equipment and services to complete all preparation, relocations and protection work as indicated on the drawings, as specified herein, or both.
 - PREPARATION FOR RELOCATION OF TREES AND PALMS**
 - Crown Pruning**
 - All pruning on site shall conform to ANSI Standard A-300, 2001.
 - Fertilization and Watering**
 - All Trees and Palms to be relocated shall be treated with wetting agents, fertilizers, root stimulants, and soil conditioners at the time of relocation. See specifications.
 - Form and maintain an earth berm 6" high outside the proposed root ball prior to watering and apply 3" approved mulch within saucer. Water application shall saturate the root ball to its entire depth.
 - Root Pruning**
 - Watering**
All trees and palms to be relocated are to be provided with an automatic irrigation system which provides 2 bubbler heads to each tree and palm, prior to root pruning.
Provide irrigation timer, or battery powered valve to water trees to be relocated. Hand watering in lieu of automatic system shall not be allowed, however hand watering shall be performed to avoid lapses should the automatic system be inoperable for more than 24 hours and during the initial planting period as specified.
 - Barricades**
Barricade all existing trees and palms with six foot (6') chain link fence or other barricade approved by Owner.

Root Pruning Technique - All trees shall be excavated by digging a trench 36" deep, either by hand or with a trenching machine designed for this purpose. Hand cut broadleaf tree roots after trenching to produce clean cuts with no splits or tears. Trees to be root pruned shall have a minimum root ball size of 10" per 1" of caliper measured at DBH for broad leaf trees, 30" for Sabal Palms, 42" for Coconut Palms. Sabal palms shall not require root pruning.

Timing - All broadleaf trees are to be relocated shall be maintained for a minimum of ten (10) weeks after root pruning prior to relocation. All palms except Sabal Palms, shall be maintained a minimum of four (4) weeks prior to relocation.
 - RELOCATION OF TREES AND PALMS**
 - Preparation** - Trees and palms shall be thoroughly soaked to the full depth of the root ball daily for seven consecutive days prior to relocation. Accurately locate position and elevation where all trees are intended to be planted, for verification by Landscape Architect. Verify that no overhead or underground utilities, existing or proposed, conflict with proposed locations.

Digging and Handling
Determine line of previous root pruning and excavate around root mass to leave area outside a line of root pruning undisturbed. Digging shall be accomplished so as to produce clean cuts: on all roots without tearing or splitting. Trenching shall be a minimum of 48" deep.

Trees shall be handled in such a way as to avoid damage to bark and limbs subject to support cables or chains. Attach padded support cables or chains at multiple points where possible.

Root balls shall be undercut prior to lifting. Do not force tree from ground prior to undercutting. Ball depth to be determined upon assessing conditions at time of trenching, to keep intact the entire root ball.

Trees shall be properly wrapped during moving so limbs will not be scarred and damaged and to avoid broken limbs. Broken limbs or scarred trunks shall cause tree to be unacceptable and rejected at the Owner's option. Root balls and foliage shall be kept moist during all phases of relocation.

Partially backfill tree pits with 12" of approved planting soil prior to setting tree. This layer of soil to be thoroughly drenched prior to relocation to achieve a stable platform at the correct elevation so that the top of root ball is 1" above proposed grade.

Backfilling - Flood bottom foil layer to settle tree into best position and to remove air pockets. Continue to flood root ball as planting soil is deposited to insure removal of all air pockets. Produce saucer to retain water per drawings.

Bracing - Support tree with each every until bracing is complete. Buttresses may support separate trunks on multiple trunk trees. Maintain braces until completion of project.

Irrigation - Install bubbler heads on all trees and palms. Connect each tree's system immediately to water source. Additionally, all transplanted trees and palms shall be hand watered daily for a period of six (6) weeks after transplanting. The irrigation system is designed for maintaining plant material only, and does not provide the volume of water required immediately after transplanting. Set time to run daily, to provide an equivalent of 6" of rain per week for 30 days, then reduce to equivalent of 3" per week.
 - PROTECTION AND CARE OF EXISTING TREES AND PALMS TO REMAIN**

Watering - Existing irrigation shall remain operable to the greatest extent possible during construction. All on site trees to remain shall be supplied with temporary irrigation to remain operable until permanent irrigation is operative. Existing irrigation system to be demolished may be utilized as the temporary irrigation system.

Barricading - Barricade all existing trees and palms with six foot (6') chain link fence or other barricade approved by Owner. Barricades shall be installed at an offset distance two feet (2') outside the tree drip ledge/edge of tree canopy to the extent practical, prior to any construction activity.

SOIL PREPARATION AND SOIL MIX

- All plants noted for removal shall be removed and properly disposed of off-site at contractor's expense unless otherwise noted.
 - Apply Roundup (manufactured by Monsanto Corp. or equal) according to manufacturer's rate and specification within limits of all areas to be planted. Protect existing plants to remain from overspray or spray within root zone. Contractor to ensure total weed eradication from all areas to be planted.
 - Before replacing topsoil, rake subsoil surface clear of stones (1" diameter and larger), debris, rubbish, and remaining roots from removed plant material.
 - Scarify subsoil to a depth of six inches (6").
 - Contractor to apply "Surflan" or equal, or approved pre-emergent herbicide in accordance with manufacturer's rate and specifications.
 - PLANTING SOIL MIXES**
Existing soil may be used for planting mixes at owner's discretion if deemed suitable by testing provided by A&L southern laboratories to meet the required specifications.
- 2.4 Soil Amendments**
- SOIL CONDITIONERS**
- Aluminum Sulfate: Manufacturer's standard commercial grade.
 - Peat: Federal Specifications Q-P-166 Type 1, Class B, Sphagnum moss.
 - Pesticides: As recommended by applicable Agricultural Public Agencies.
 - Herbicides and Sterilizers:
 - "Ronstar" pre-emergent herbicide or approved equal
 - "Roundup" systemic herbicide or approved equal
 - Soil Amendments:**
 - Fertilizer Amendments
 - All fertilizers shall be manufactured from quality materials, be free from impurities, uniform in composition meet recognized standards for effectiveness and be free flowing and suitable for application with approved equipment.
 - All fertilizer shall be delivered to the site in bags or other convenient containers, each fully labeled, conforming to the applicable state fertilizer laws, bearing the grade and the trade name of the producer.
 - Die Hard Root Reviver - Endo and Ectomycorrhizal inoculant, as manufactured by Die hard, 1,800,628,6373 or approved equal.
 - Die Hard Transplant - Ona Slep - Endo and Ectomycorrhizal inoculant, as manufactured by Die hard, 1,800,628,6373 or approved equal.
 - Time release, Palm Mix fertilizer with minor elements or approved equal.
 - Time release, Tree and Shrub Mix fertilizer, 6-5-6, with minor elements or approved Equal.
 - Granular Triple Super Phosphate as manufactured by IMC, Agricul. 706.970.3000.
 - Agriform Planting Tablets, 6-8-8 plus minors, as manufactured by Grace Sierra, 408.263.8089 or approved equal.
 - Scott's Turf Starler (16-25-12) or approved equal.
 - Wetting agent to be Terra Soil or approved equal.
 - Soil conditioner to be "Super Leco Wet", as manufactured by Lesco, Inc. or Approved Equal.

LANDSCAPE NOTES (ORANGE COUNTY)

- TO SCHEDULE A LANDSCAPE INSPECTION FOR ALL COMPLETED PERMITS, CALL ALL ASSOCIATED PERMIT NUMBERS INTO THE AUTOMATED INSPECTION SYSTEM AT (407) 838-282 5 AND REQUEST A CODE "ZT" ZONING/LANDSCAPE INSPECTION. INSPECTIONS ARE CONDUCTED ON TUESDAYS AND FRIDAYS ONLY AND SHALL BE CALLED IN BY MIDNIGHT PRIOR TO DAY OF INSPECTION. ANY TREES DESIGNATED TO BE PRESERVED ON THIS PLAN BUT THAT ARE SUBSEQUENTLY REMOVED SHALL BE CONSIDERED A VIOLATION PER S.E.C. 15-281(E) AND AS SUCH, SHALL BE REPLACED IN INCHES ON SITE AT A 2:1 RATIO (NON-SPECIMEN TREES) AND AT A 4:1 RATIO (SPECIMEN TREES), AS AN ALTERNATIVE, THE VIOLATION MAY BE SATISFIED BY PAYMENT TO THE COUNTY TREE FUND AT A RATE OF \$106 PER INCH AND \$212 PER INCH RESPECTIVELY OR BY SOME COMBINATION OF PLANTING AND PAYMENT. MITIGATION SHALL BE SATISFIED PRIOR TO RELEASE OF ZONING HOLD(S). NEWLY PLANTED TREES SHALL BE INSPECTED FOR REMOVAL OF ALL NON-BIODEGRADABLE BURLAP AND STRAPPING FROM THE TOP OF THE ROOT BALL. METAL STRAPPING HOOKS SHALL BE REMOVED OR BENT DOWN ALONG SIDE OF THE ROOT BALL AND COVERED WITH SOIL SO AS TO NOT PROTRUDE ABOVE GRADE. MULCH SHALL BE APPLIED 12" X 18" AWAY FROM THE TREE TRUNK IN ORDER TO REDUCE INTERCEPTION OF WATER TO THE TREE ROOTS. GO TO HTTP://H0RT.FAS.UFL.EDU/WOOD/COVER-MULCHING.SHTML FOR MORE INFORMATION.
 - MULCH, PER SEC. 24-6B(4) SHALL BE ORGANIC AND SHALL ALL BE SPECIFIED IN PLANT BEDS AND AROUND INDIVIDUAL TREES. WHEN APPLIED TO TREES, MULCH SHALL NOT BE PLACED ON TOP OF THE ROOT BALL OR BE PLACED AGAINST THE TRUNK. MULCH SHALL BE APPLIED A MINIMUM OF 12" TO 18" FROM THE TRUNK FOR ANY SIZED TREE. MATERIALS THAT DO NOT BIODEGRADE SUCH AS ROCK AND SHELL, ARE NOT DEEMED ACCEPTABLE. FAILURE TO INSTALL MULCH (AND TYPE OF MULCH) AS PROVIDED IN THE SPECIFICATION ABOVE MAY RESULT IN A FAILED INSPECTION. SEE HTTP://H0RT.FAS.UFL.EDU/WOOD/COVER-MULCHING.SHTML FOR MORE INFORMATION.
 - ALL AREAS TO RECEIVE 100% COVERAGE USING AN UNDERGROUND IRRIGATION SYSTEM WITH A RAIN SENSOR. IRRIGATION CONTRACTOR TO PROVIDE SHOP DRAWINGS TO LANDSCAPE ARCHITECT OF INSTALLED IRRIGATION SYSTEM.
 - I HEREBY CERTIFY THAT THESE LANDSCAPE, IRRIGATION, AND TREE MITIGATION SHEETS ARE DESIGNED IN COMPLIANCE WITH THE ORANGE COUNTY CODE(S) CHAPTER 16 AND CHAPTER 24. THE IRRIGATION HAS BEEN DESIGNED AND WILL BE INSTALLED PER CHAPTER 37, SECTIONS 601-613.
 - THE IRRIGATION SYSTEM TO BE INSTALLED WILL BE A TEMPORARY SYSTEM FOR THE PURPOSE OF ESTABLISHING PLANT MATERIAL.
 - ALL EXISTING INVASIVE EXOTIC PLANTS, AS LISTED ON THE FLORIDA EXOTIC PEST PLANT COUNCIL'S INVASIVE SPECIES LIST SHALL BE REMOVED. (ANY DISTURBANCE OF WETLAND AREAS REQUIRES COMPLIANCE WITH CH-15 OF THIS CODE AND REVIEW BY THE COUNTY'S ENVIRONMENTAL PROTECTION DIVISION.)
- RESIDENTIAL PSP NOTES:**
- Residential PSP's shall comply with Section 15-305 concerning minimum number of trees per lot.
 - Any trees proposed to be preserved on this approved PSP tree preservation plan that are subsequently removed, shall be considered a violation and as such shall be replaced (in inches) on site at a 2:1 ratio for Nonspecimen trees and at 4:1 for Specimen trees per Section 15-281(e). As an alternative, the violation may be satisfied via payment into the Orange County Tree Fund or by some combination of payment and onsite planting. The current fee, as may be amended by the BCC, is \$106.00 per inch. Mitigation must take place at time of permitting (or the recording of the plat, if the violation is discovered prior to planting). The removal of such trees, if any, shall not result in a net loss in the required number of trees per Section 15-306 of the Orange County Code.
 - Tree removal mitigation per lot is the responsibility of each lot owner and shall be consistent with this tree survey / removal / replacement plan.
 - Any trees proposed to be preserved on this plan shall not have any fill or excavation at points closer than six feet from the base of the tree or at the radius of the drip-line of the protected tree or stand of trees, whichever is greater.
 - Payment of any tree mitigation fees shall take place prior to the recording of the plat.
 - A Tree Preservation/Mitigation Plan is included with this PSP submittal. Due to final site engineering evaluation, up to (but not more than) 10% of the amount of trees (in inches) shown to be preserved may be removed, provided such removals are reflected in an adjusted Tree Preservation/Mitigation Plan submitted and approved by the Zoning Arbor Office prior to removals. Such removals and mitigations shall be in accordance with regular mitigation requirements, and shall not be considered a violation. However, any proposal or removal of more than 10% shall require that the Tree Preservation/Mitigation Plan (and PSP) return to DRC for a Change Determination, where the proposal for excess removal may be considered a Substantial Change, and/or may consider the removals to be a violation of the Tree Preservation/Mitigation Plan (and PSP) thereby requiring penalty mitigation to be provided.

PLANTING SPECIFICATIONS

- The Contractor is responsible for maintaining, in full all planting areas (including watering, spraying, mulching, mowing, fertilizing, etc.) until the job is accepted, in full, by the Owner and/or Landscape Architect.
- All root balls shall conform to the size standards set forth in "American Standards for Nursery Stock".
- All plant material shall be protected during transport and delivery to final location with shade cloth or other acceptable means of windburn prevention.
- All trees must be guyed or staked as shown in the details.
- Installation - All plant material shall be installed in a sound, workman-like manner and according to accepted good planting and tree relocation procedures with the quality of plant materials as hereinafter described. All elements of landscaping shall be installed so as to meet all applicable ordinances and code requirements.
- There shall be no chains or cables used on trees or palms. Handle with two inch (2") minimum width nylon straps or equal.
- Contractor shall assure drainage and percolation of all planting pits prior to installation of plant material. Contractor shall fill all tree pits with water before planting to assure that proper drainage and percolation is available. Correct if required to assure percolation. Contractor is responsible for replacement of all plants lost due to inadequate drainage conditions.
- Contractor to request final acceptance of project in writing. If all work is satisfactory and complete in accordance with conditions of contract documents, then the Owner and the Landscape Architect shall declare the project substantially complete.
- Contractor to replace rejected plant material within one (1) week of written notice.
- Contractor shall match all plant material throughout and completely to a three inch (3") depth of loose, weed free mulch as specified.
- Plant Material which is not installed at the direction of the landscape architect or owner or property of the contractor unless the comes relocated on site. The Contractor shall provide credit for any plant material not installed on the site.

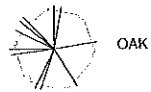
SCALE	DRAWN: DM	DESIGNED: —	CHECKED: RW	DATE: 2/3/2018	SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTWIND DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 250-3123	DESCRIPTION
	PROJECT	2017-011	SHEET	LO-1.00		DATE
	BUSINESS NO.	32108	NOT FOR CONSTRUCTION			REV

48 HOURS BEFORE YOU DIG
 CALL SUNSHINE
 1-800-42-4710 or 811

IT'S THE LAW IN FLORIDA
 FLORIDA LAW REQUIRES
 EXCAVATORS TO NOTIFY
 OWNERS OF UNDERGROUND
 FACILITIES NO LESS THAN TWO
 (2) DAYS PRIOR TO EXCAVATION



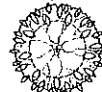
TREE LEGEND:



OAK



MAGNOLIA



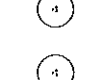
SPECIMEN
MAGNOLIA



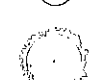
RED MAPLE



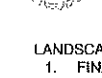
SLASH PINE



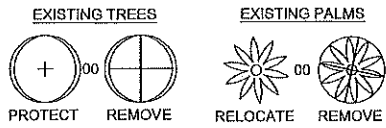
CREPE MYRTLE



CREPE MYRTLE



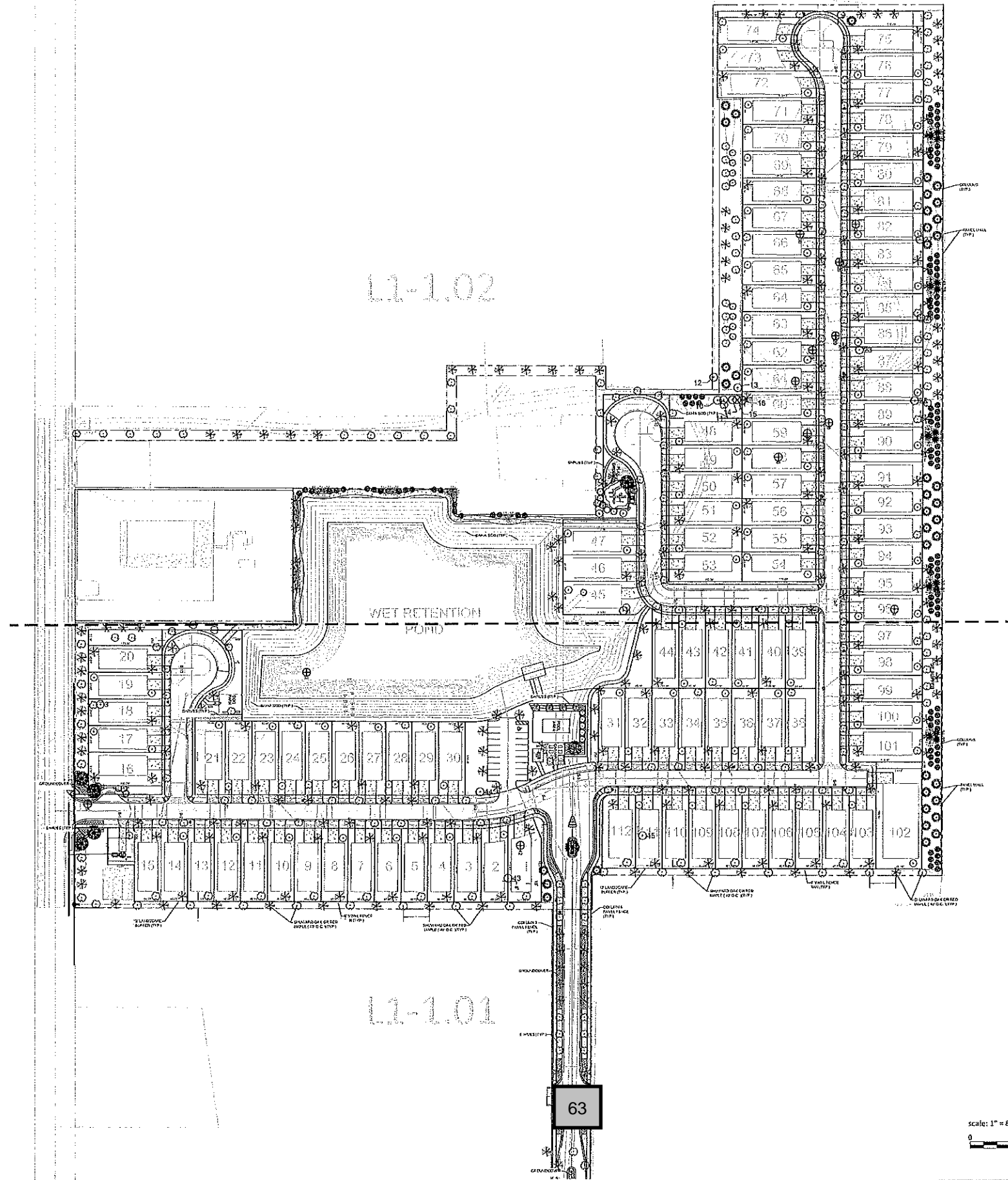
RED CEDAR



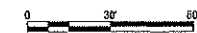
NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION

LANDSCAPE NOTES:

1. FINAL LANDSCAPE DRAWINGS WILL BE ISSUED AT THE TIME OF FINAL DEVELOPMENT PLAN AND BUILDING PERMIT SUBMITTAL. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE BO. 2069.
 2. ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS SHOWN IN THE APOPKA MUNICIPAL CODE LANDSCAPE REQUIREMENTS.
 3. ALL PLANT MATERIAL SPECIFIED SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, THE PROJECT MANUAL AND/OR SPECIFICATIONS. PLANT MATERIAL IN SOME CASES MAY EXCEED FLORIDA NO. 1 GRADE IN ORDER TO MEET THE MINIMUM REQUIREMENTS FOR THE PROJECT.
 4. ALL LANDSCAPE SHALL BE COVERED 100% BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR SHUT OFF DEVICE.
 5. NO TREES TO BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT.
 6. ALL PALMS AND TREES MUST BE SETBACK 17FT OR MAXIMUM PALM FROND LENGTH PLUS 10FT FROM POWER POLES PER FPL RIGHT TREE / RIGHT PLACE REQUIREMENTS.
 7. LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS














scale: 1" = 80'



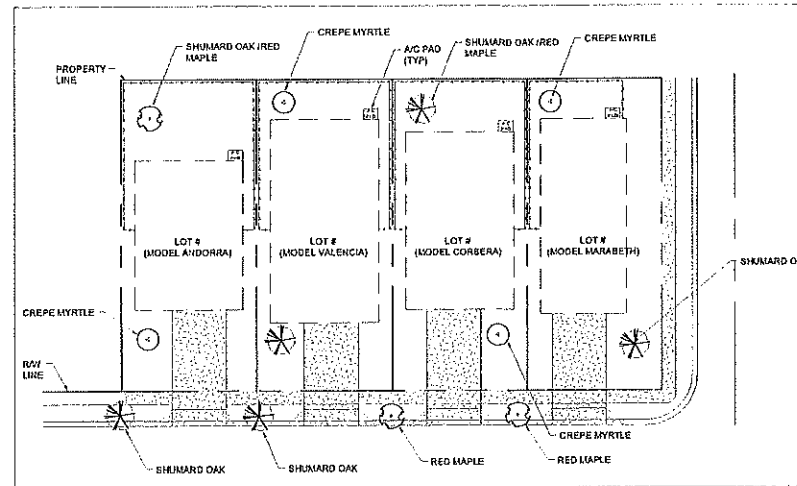
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 245 N. WESTHOYTE DRIVE ALZAMONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>DESCRIPTION</p>	<p>BY</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>MASTER LANDSCAPE PLAN</p>		
<p>SCALE 1" = 80'</p>	<p>DRAWN: DM</p>	<p>DESIGNED: DM</p>	<p>CHECKED: RW</p>	<p>DATE: 2/3/2018</p>
<p>PROJECT 2017-011</p>	<p>SHEET L1-1.00</p>	<p>BUSINESS NO. 32108</p>		
<p>NOT FOR CONSTRUCTION</p>				

TREE LEGEND:

-  OAK
-  MAGNOLIA
-  SPECIMEN MAGNOLIA
-  RED MAPLE
-  SLASH PINE
-  CREPE MYRTLE
-  RED CEDAR

- | | | | |
|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|-----------------------------------------------------------------------------------|
| EXISTING TREES | | EXISTING PALMS | |
|  |  |  |  |
| PROTECT | REMOVE | RELOCATE | REMOVE |

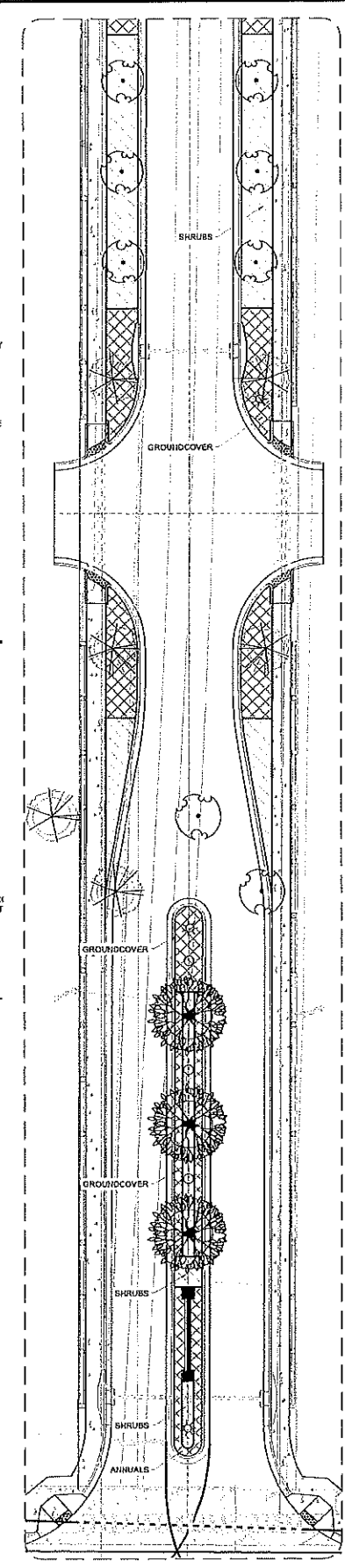
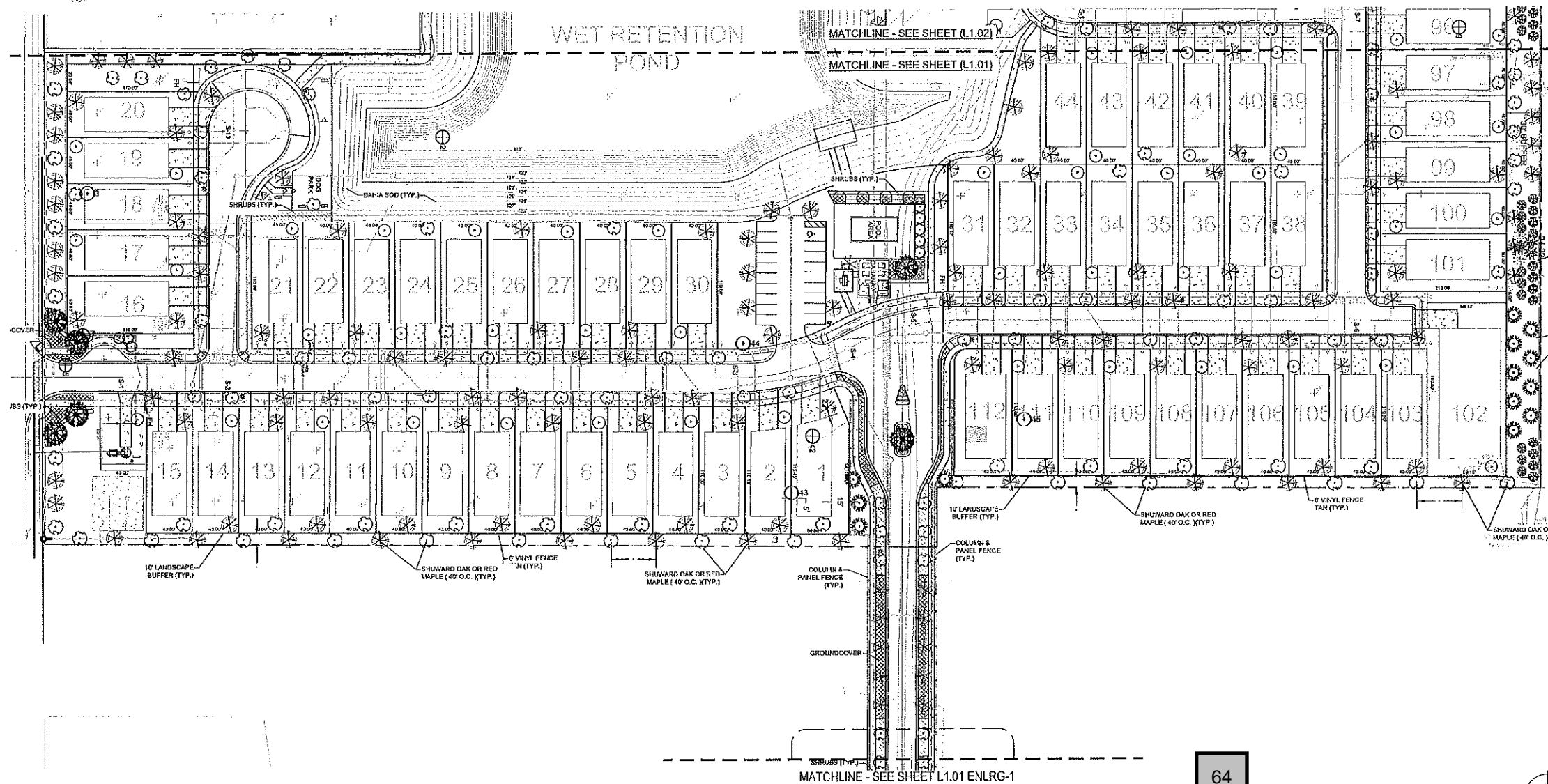
NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY. (SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION



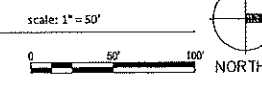
TYPICAL LOT PLANTING DETAIL PLAN N.T.S.

GENERAL NOTES:

- 1) DRIVEWAY LOCATIONS MAY BE ADJUSTED
A. 5' FROM PROPERTY LINE TO DRIVEWAY EDGE
B. 40' FROM ROAD CENTERLINE TO DRIVEWAY EDGE
C. NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION
- 2) NO FENCES IN FRONT OF BUILDING, FRONT 20' OF SIDE YARDS
- 3) FENCES CAN BE 42" TO 60" RAIL OR CHAIN LINK (BLACK VINYL COATED OR 6" HIGH VINYL (TAN) FENCE BARRIERS CENTERED)
- 4) ALL STREET TREES SHALL HAVE 24" DEEP/8" ROOT BARRIERS CENTERED
- 5) TREE MITIGATION AND FINAL LANDSCAPE PLANS WITH IRRIGATION WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN SUBMITTAL










ENTRY DRIVE ENLARG-1 PLAN







LANDSCAPE PLAN EAST (SEE SHEETS L0-1.00, L1-1.00, L1-2.00 FOR PLANTING LIST, NOTES AND DETAILS)

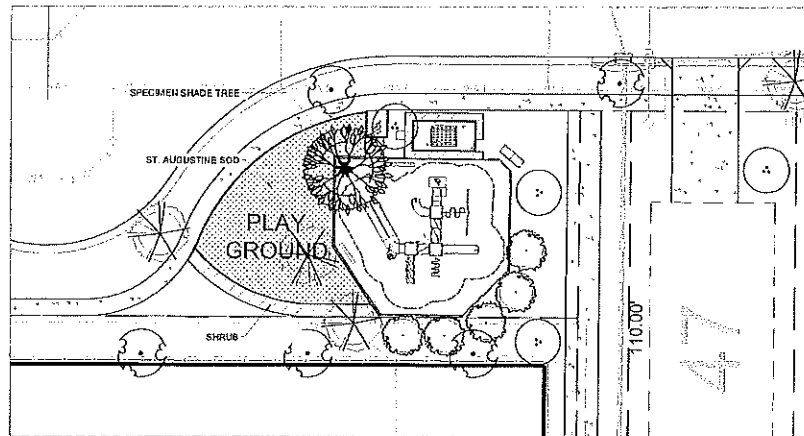
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123		DATE	REV	DESCRIPTION
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		DATE	2/3/2018	
LANDSCAPE PLAN EAST		SHEET	L1-1.01	
SCALE	1"=50'	PROJECT	2017-011	
DRAWN	DM	CHECKED	RW	
BUSINESS NO. 32108		NOT FOR CONSTRUCTION		

TREE LEGEND:

-  OAK
-  MAGNOLIA
-  SPECIMEN MAGNOLIA
-  RED MAPLE
-  SLASH PINE
-  CREPE MYRTLE
-  RED CEDAR

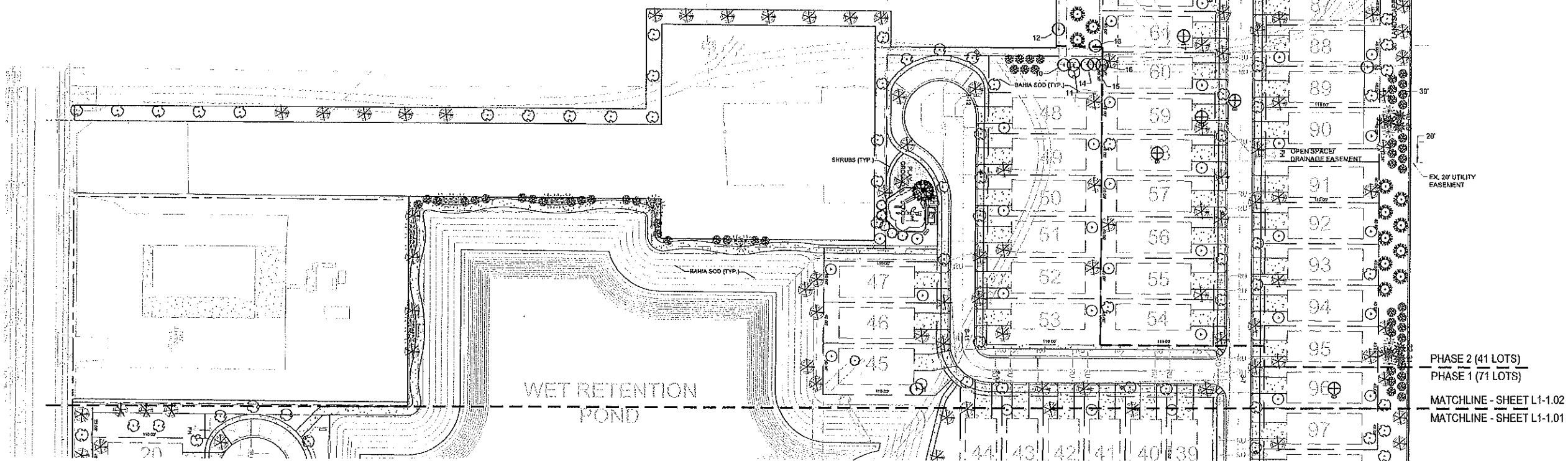
- EXISTING TREES
-  PROTECT
 -  REMOVE
- EXISTING PALMS
-  RELOCATE
 -  REMOVE

NOTE:
NUMBERS (000) CORRESPOND
WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR
SUPPLEMENTAL INFORMATION



PLAYGROUND ENLARGEMENT
PLAN

scale: 1" = 20'



WET RETENTION
POND

PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)
MATCHLINE - SHEET L1-1.02
MATCHLINE - SHEET L1-1.01

COLUMNS (TYP.)
PANEL WALL (TYP.)
LAND USE: LD (COUNTY)
ZONING: R1AA (COUNTY)
STACK STONE RESIDENTIAL WALL, SEE
DETAIL SHEET C05
& C06
EX. 20' UTILITY
EASEMENT

LANDSCAPE PLAN WEST (SEE SHEETS L0-1.00, L1-1.00, L1-2.00 FOR PLANTING LIST, NOTES AND DETAILS)

scale: 1" = 50'
NORTH

<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>BY</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>LANDSCAPE PLAN WEST</p>	
<p>SCALE 1" = 50'</p>	<p>PROJECT 2017 - 011</p>	<p>CHECKED: RW</p>	<p>DATE: 2/3/2018</p>
<p>LANDSCAPE PLAN WEST</p>		<p>BUSINESS No. 32108</p>	
<p>NOT FOR CONSTRUCTION</p>			

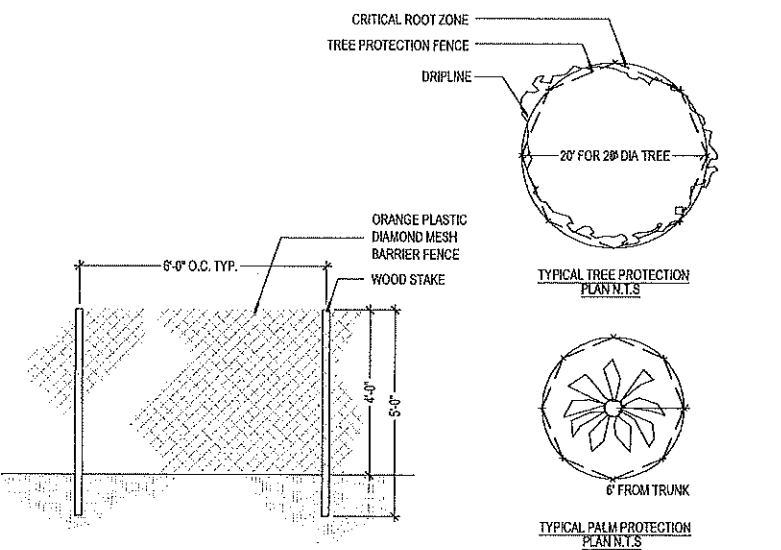
TREE SURVEY | SAN SEBASTIAN RESERVE, ORANGE COUNTY FL.

TREE #	DISPOSITION	TYPE (SCIENTIFIC)	TYPE (COMMON)	DBH	GENERAL NOTES
1	Protect	<i>Quercus virginiana</i>	Live Oak	24" DBH	Lot 45 Side Yard
2	Remove	<i>Quercus virginiana</i>	Live Oak	15" DBH	In Lake
3	Protect	<i>Quercus virginiana</i>	Live Oak	28" DBH	Lot 18 Back Yard
4	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lester Entrance Tree Rot
5	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38" DBH	Lester Entrance Tree Rot
6	Remove	<i>Acer rubrum</i>	Florida Red Maple	12" DBH	Lot 59
7	Remove	<i>Quercus virginiana</i>	Live Oak	10" DBH	Dead
8	Remove	<i>Quercus virginiana</i>	Live Oak	8" DBH	Lot 96
9	Remove	<i>Quercus virginiana</i>	Live Oak	16" DBH	Lot 96
10	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 Clean and Trim Branch
11	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 Clean and Trim Branch
12	Protect	<i>Quercus laurifolia</i>	Laurel Oak	15" DBH	Adj Lot 60-61 Clean and Trim Branch
13	Protect	<i>Sabal palmetto</i>	Sabal Palm		Adj Lot 60-61 Clean and Trim Fronds
14	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 Clean and Trim Branch
15	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 Clean and Trim Branch
16	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 Clean and Trim Branch
17	Remove	<i>Swietenia mahagoni</i>	Mahogany Tree	15" DBH	Lot 61
18	Relocate	<i>Sabal palmetto</i>	Sabal Palm	30" CT Double	Lot 59 Relocated to Buffer
19	Remove	<i>Quercus laurifolia</i>	Laurel Oak	18" DBH	Lot 62
20	Remove	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	Lot 61
21	Relocate	<i>Livistona chinensis</i>	Chinese Palm		Twins Relocated to Buffer
22	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
23	Protect	<i>Quercus laurifolia</i>	Laurel Oak	34" DBH	Lot 87
24	Relocate	<i>Sabal palmetto</i>	Sabal Palm	15" CT	Lot 88 - Lot 89 Relocated to Buffer
25	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Twins Lot 88 - Lot 89
26	Protect	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	Lot 85
27	Protect	<i>Quercus laurifolia</i>	Laurel Oak	24" DBH	Lot 82
28	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36" DBH	Road
29	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lot 82
30	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36" DBH	Lot 82
31	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 Relocated to Buffer
32	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 Relocated to Buffer
33	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Lot 67 Relocated to Buffer
34	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
35	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
36	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
37	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
38	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
39	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
40	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
41	Relocate	<i>Sabal palmetto</i>	Sabal Palm		Relocated to Buffer
42	Remove	<i>Quercus virginiana</i>	Live Oak	48" DBH	Lot 111
43	Protect	<i>Quercus virginiana</i>	Live Oak	43" DBH	Lot 1 - Lot 2
44	Protect	<i>Quercus virginiana</i>	Live Oak	48" DBH	Rec. Entrance Tree in distress
45	Protect	<i>Quercus virginiana</i>	Oak Cluster	12-30" * DBH	Lot 111

DEVELOPMENT GUIDELINES | ORANGE COUNTY, FL

Lot	3	Per Unit	Required	Total Required	Provided	Total Provided	Difference
Trees			112	336		224	-112
2 1/2" dbh/8' at planting							
Mature Height at 25'							
Street (30' on center/25' from corner)							
Street A	1860		62	235	47	176	-59
Street B	520		17		13		
Street C	2160		72		54		
Street D	1100		37		28		
Street E	1400		47		35		
Buffer	length	Required	Width	5'			
South Lester Road	304.9	10	20	6098	11	19	
East, South of Entrance	700	5	30	7000	12	18	
East, North of Entrance	510	5	30	5100	9	13	
West, Lester to Lot 61	1380	5	10	13800	24	44	
South, Lot 61 to Lot 74	570	5	10	5700	10	25	
West	345	5	10	3450	6	5	
Tract 11	430	5	35	15050	1	25	
North	1305	5	30	39150	23	103	
Primary Entry	190	6	30		6	34	290
					95		
					667		
						690	
							667
							667+

- Code Requirements
- Lot Trees: 3 Trees for Lot
- Street Trees: 1 tree per 30', 25' from intersection
- Buffer Trees: 3 1/2 inch (dbh) Per 1,000 sq ft (based on required buffer)
- Trees are 2 1/2 inch DBH/8' Ht. Planting Mature at 25'
- Development Design Guidelines, July 2016
- Development Design Guidelines, July 2016
- NOTES:
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 - LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- * SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS



TREE PROTECTION FENCE SECTION & PLAN SCALE: 1/2" = 1'-0"

PLANTING SCHEDULE

*NOTE: Pinus elliottii, Juniperus silicicola, Sabal palmetto utilize 3:1 planting requirement value

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN CONT	SIZE	DBH
	QUS	272	<i>Quercus shumardi</i>	Shumard Oak	45 Gal.	10'-12' Ht. - 5'-6' Sprd.	2.5in
	MAG-5	9	<i>Magnolia grandiflora</i>	Southern Magnolia - Specimen	200 Gal.	9'-12' Ht. - 10' Sprd.	3.5in
	MAG-5	38	<i>Magnolia grandiflora</i>	Southern Magnolia	100 Gal.	10' Ht. - 5' Sprd.	2.5in
	JUS	22	<i>Juniperus silicicola</i>	Southern Red Cedar Tree	45 Gal.	8'-10' Ht. - 4' - 5' Sprd.	2.5in
	ACR	190	<i>Acer rubrum</i>	Florida Red Maple	45 Gal.	12'-14" Ht. - 6'-8' Sprd.	2.5in
	PIE	105	<i>Pinus elliottii</i>	Slash Pine	45 Gal.	12'-14" Ht. - 5' Sprd.	2.5in
	LAS	106	<i>Lagerstroemia spp.</i>	Crape Myrtle	30 Gal.	10'-14" Ht. Standard	2.5in

PALMS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN CONT	SIZE	DBH
	LIX	1	<i>Livistona chinensis</i>	Chinese Fan Palm		Existing	
	SPX	38	<i>Sabal palmetto</i>	Sabal Palm	Field Grown	8' - 20' Ht. Grade #1	

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN CONT	SIZE	NOTES
	ILV		<i>Ilex vomitoria</i>	Yaupon Holly	5 gal.	36" Ht.	30"o.c.
	LOC		<i>Laropetalum chinense</i>	Chinese fringe flower	5 gal.	36" Ht.	30"o.c.
	VIS		<i>Viburnum suspensum</i>	Mapleleaf	5 gal.	36" Ht.	30"o.c.
	JAS		<i>Jasminum simplicifolium</i>	Wax Jasmine	5 gal.	36" Ht.	30"o.c.

GROUND COVER	CODE	QTY	BOTANICAL NAME	COMMON NAME	MIN CONT	SIZE	NOTES
	ANN		Annuals	Annual Mix	FLAT		CONTRACTOR TO VERIFY
	PAN		<i>Paspalum notatum</i>	Bahia Sod			CONTRACTOR TO VERIFY weed free
	STS		<i>Stenotaphrum secundatum</i>	St. Augustine Sod			CONTRACTOR TO VERIFY weed free
	ASJ		<i>Asiatic jasmine</i>	Asian Jasmine			CONTRACTOR TO VERIFY weed free
	ARG		<i>Arachis globata</i>	Perennial Peanut			CONTRACTOR TO VERIFY weed free

NOTE: ALL PLANT MATERIAL TO MEET OR EXCEED THE ORANGE COUNTY FLORIDA MUNICIPAL CODE REQUIREMENTS. FINAL LANDSCAPE PLANS AND QUANTITIES TO BE SUBMITTED AT TIME OF FINAL DEVELOPMENT PLAN

WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
946 N. WESTWIND DRIVE
ALHAMBRA, SPRINGS, FL 32714
(407) 750-3123

SAN SEBASTIAN RESERVE
ORANGE COUNTY, FLORIDA

PLANTING LIST AND REQUIREMENTS

SCALE: 1/2" = 1'-0"

PROJECT: 2017-011

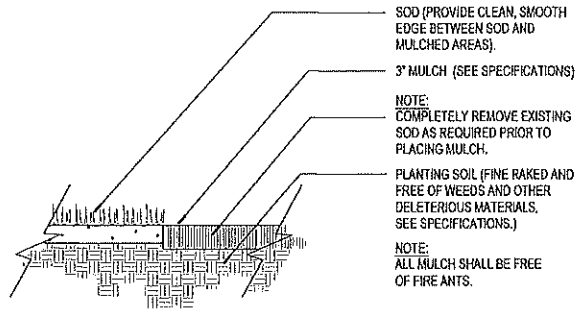
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DATE: 2/3/2018

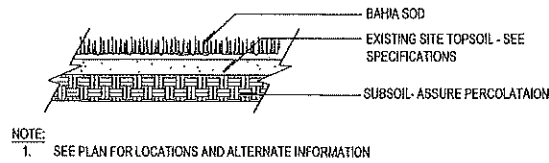
BUSINESS NO. 32108

NOT FOR CONSTRUCTION

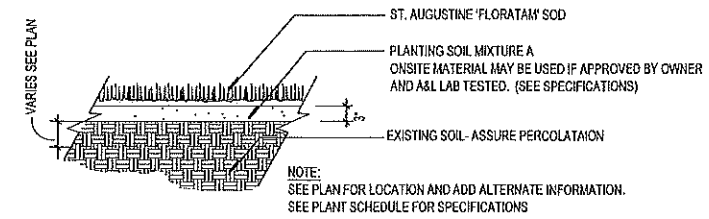
2/4/18



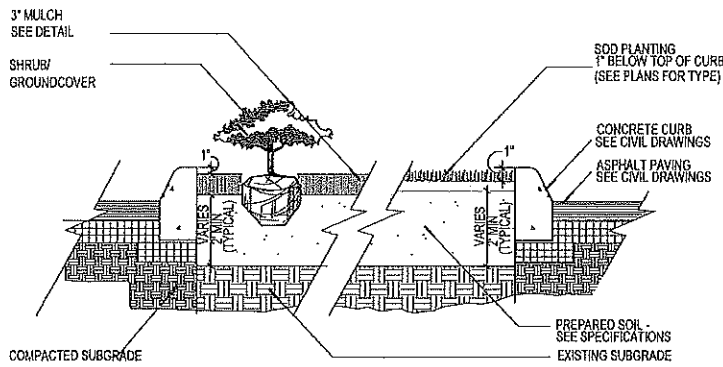
MULCH SECTION SCALE: 1"= 1'-0"



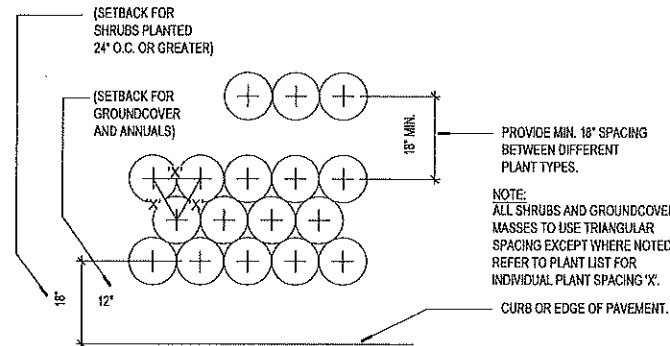
BAHIA SOD SECTION SCALE: 1"= 1 1/2'-0"



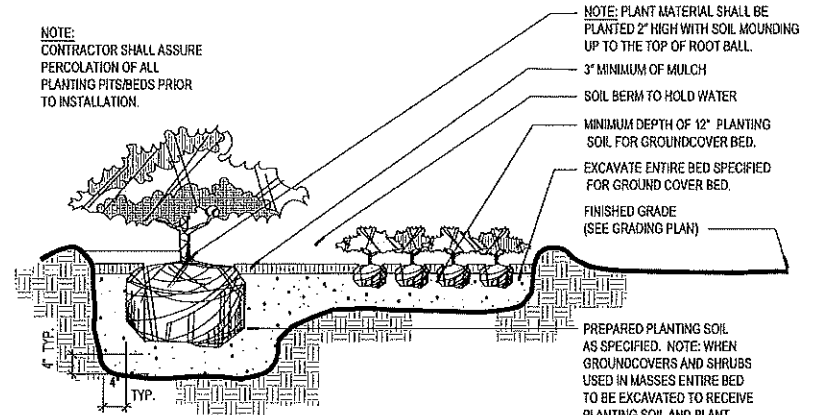
ST. AUGUSTINE SOD SECTION SCALE: 1"= 1 1/2'-0"



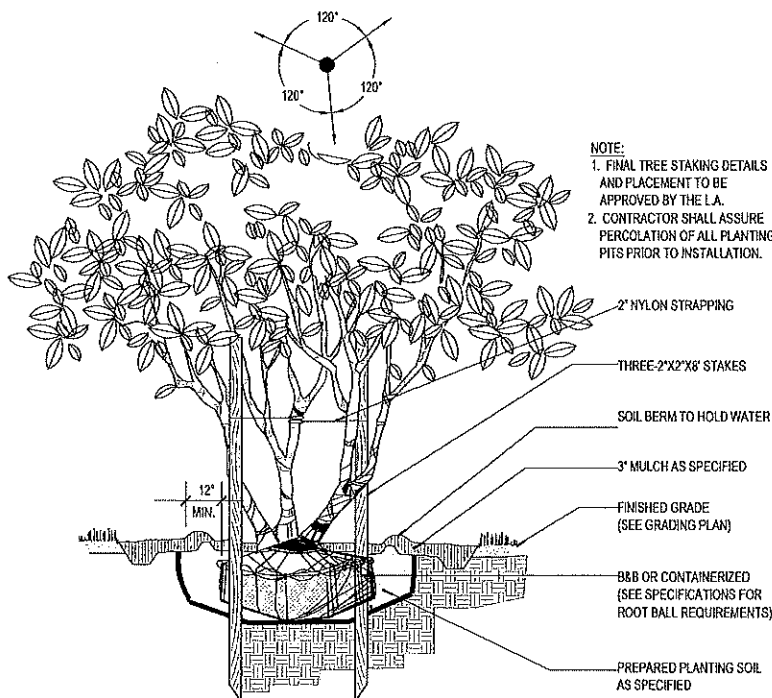
SOD/MULCH AT CURB SECTION SCALE: 1"= 1'-0"



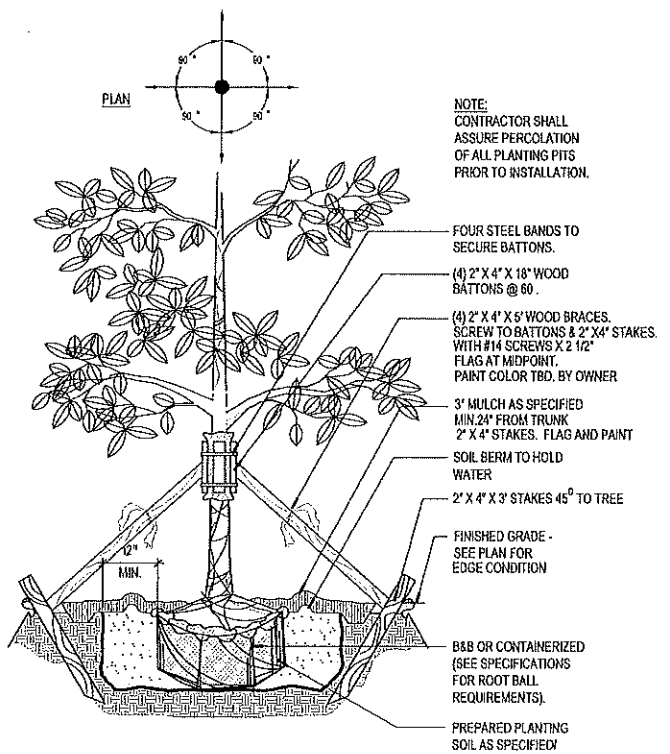
TYPICAL PLANT SPACING PLAN SCALE: 1"= 1'-0"



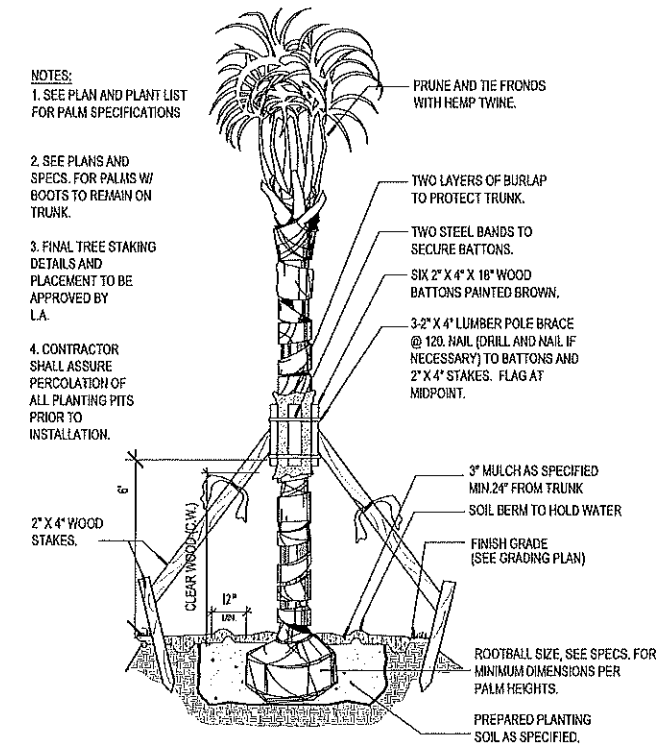
SHRUB AND GROUND COVER SECTION SCALE: 1"= 1'-0"



MULTI-TRUNK TREE SECTION SCALE: 1"= 1'-0"



LARGE TREE SECTION SCALE: 1"= 1'-0"



PALM SECTION SCALE: 1"= 1'-0"

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALHAMBRA SPRINGS, FL 32714 (407) 750-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		LANDSCAPE DETAILS	
SCALE	DATE	DESIGNED	CHECKED	DATE	BY
PROJECT	2017-011	2017-011	2/3/2018		
SHEET	L1-1.20				
BUSINESS NO. 32108					
NOT FOR CONSTRUCTION					

<p>IN DESIGN & PRODUCT</p> <p>Andorra 1472 SQFT - 30' x 30'</p> <p>FIRST FLOOR - 875 SQFT SECOND FLOOR - 597 SQFT</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Corbiera 2181 SQFT - 30' x 60'</p> <p>FIRST FLOOR - 1383 SQFT SECOND FLOOR - 798 SQFT</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Marabella 2442 SQFT - 30' x 55'-4"</p> <p>FIRST FLOOR - 1428 SQFT SECOND FLOOR - 1014 SQFT</p> <p>San Sebastian KJHoyanlar Company</p>
<p>IN DESIGN & PRODUCT</p> <p>Andorra 1472 SQFT - 30' x 30'</p> <p>FORM A FORM B FORM C</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Corbiera 2181 SQFT - 30' x 60'</p> <p>FORM A FORM B FORM C</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Marabella 2442 SQFT - 30' x 55'-4"</p> <p>FORM A FORM B FORM C</p> <p>San Sebastian KJHoyanlar Company</p>
<p>IN DESIGN & PRODUCT</p> <p>Paloma 1702 SQFT - 30' x 60'</p> <p>FIRST FLOOR - 1038 SQFT SECOND FLOOR - 664 SQFT</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Valencia 2143 SQFT - 30' x 70'</p> <p>FIRST FLOOR - 1353 SQFT SECOND FLOOR - 790 SQFT</p> <p>San Sebastian KJHoyanlar Company</p>	<p>POOL CABANA</p> <p>FIRST FLOOR ROOF PLAN</p> <p>FRONT ELEVATION FRONT ELEVATION</p> <p>San Sebastian KJHoyanlar Company</p>
<p>IN DESIGN & PRODUCT</p> <p>Paloma 1702 SQFT - 30' x 60'</p> <p>FORM A FORM B FORM C</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Valencia 2143 SQFT - 30' x 70'</p> <p>FORM A FORM B FORM C</p> <p>San Sebastian KJHoyanlar Company</p>	<p>IN DESIGN & PRODUCT</p> <p>Ranch Concept 1688 SQFT - 30' x 42'</p> <p>San Sebastian KJHoyanlar Company</p>



<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS</p> <p>246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p> <p>BUILDING ELEVATIONS</p>		<p>SCALE: N/A</p> <p>PROJECT: 2017-011</p> <p>SHEET: B-1.0</p>	<p>DATE: 12/17/2017</p>
<p>DESIGNED: DM</p>	<p>CHECKED: RW</p>	<p>DATE: 12/17/2017</p>	<p>GROUP</p> <p>LAND DEVELOPMENT & ENGINEERING SERVICES</p> <p>BUSINESS NO. 32108</p>	<p>NOT FOR CONSTRUCTION</p>	<p>DESCRIPTION</p> <p>DATE</p> <p>BY</p>

LEGAL DESCRIPTION

PARCEL 1 (O.R.B. 6302, PG. 1942)
A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28, THENCE SOUTH 87°59'45" WEST, 50.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'45" WEST 143.82 FEET TO THE EAST LINE OF PARCEL, PREVIOUSLY DEEDED FOR A WELL LOT, THENCE NORTH 02°01'11" WEST, 59.80 FEET TO THE NORTH EAST CORNER OF THE AFORESAID WELL LOT, THENCE SOUTH 87°59'45" WEST, 173.12 FEET ALONG THE NORTH LINE OF THE SAID WELL LOT, THENCE NORTH 01°49'26" WEST 519.15 FEET TO THE NORTH LINE OF THE NORTH ONE-HALF (S 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28; THENCE NORTH 88°02'24" EAST 714.27 FEET ALONG THE NORTH LINE OF SAID ONE-HALF (S 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) TO THE NORTH EAST CORNER OF THE WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SAID SECTION 28; THENCE SOUTH 01°49'16" EAST, 524.00 FEET ALONG THE EAST LINE OF SAID WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SAID SECTION 28; THENCE SOUTH 01°49'16" EAST, 524.00 FEET ALONG THE EAST LINE OF SAID WEST ONE-HALF (W 1/2) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SAID SECTION 28; THENCE SOUTH 88°02'24" EAST 503.10 FEET TO A POINT 80.00 FEET WEST OF THE EAST LINE OF SAID SECTION 28, THENCE SOUTH 01°45'16" EAST 54.04 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT THE FOLLOWING DESCRIBED LANDS;
FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN THENCE NORTH 01°45'16" WEST, 750.00 FEET, ALONG THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 87°59'45" WEST, 60.00 FEET PARALLEL WITH THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; THENCE CONTINUE SOUTH 87°59'45" WEST, A DISTANCE OF 850.01 FEET; THENCE NORTH 01°49'16" WEST, A DISTANCE OF 54.16 FEET; THENCE NORTH 88°02'24" EAST, A DISTANCE OF 500.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF ROCK SPRINGS ROAD; THENCE SOUTH 01°45'16" EAST, ALONG SAID WEST RIGHT-OF-WAY, A DISTANCE OF 54.04 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH
PARCEL 2 (O.R.B. 10532, PG. 3926)
A PARCEL OF LAND LYING IN SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
FROM THE SOUTH EAST CORNER OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, RUN SOUTH 87°59'49" WEST 500.00 FEET ALONG THE SOUTH LINE OF SAID SECTION 28 FOR THE POINT OF BEGINNING OF THIS DESCRIPTION; CONTINUE THENCE SOUTH 87°59'49" WEST 630.44 FEET; THENCE RUN NORTH 01°41'41" WEST 601.62 FEET TO THE SOUTH LINE OF A PREVIOUSLY DEEDED WELL LOT, THENCE NORTH 87°59'49" EAST 28.50 FEET TO THE SOUTH-EAST CORNER OF THE SAID WELL LOT; THENCE NORTH 14°40' FEET ALONG THE EAST LINE OF AFORESAID WELL LOT, THENCE NORTH 87°59'45" EAST, 993.99 FEET TO A POINT 600.00 FEET WEST OF THE EAST LINE OF AFORESAID SECTION 28, AND 750.00 FEET NORTH OF THE SOUTH LINE OF AFORESAID SECTION 28; THENCE SOUTH 01°45'16" EAST 750.00 FEET TO THE POINT OF BEGINNING, LESS THE SOUTH 50.00 FEET THEREOF FOR ROAD.

LESS AND EXCEPT THE SOUTH 328.71 FEET OF THE WEST 200.00 FEET OF THE ABOVE DESCRIBED PARCEL 2, TOGETHER WITH
PARCEL 3 (O.R.B. 9759, PG. 6283)
A PART OF THE EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE SOUTHWEST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28, TOWNSHIP 20 SOUTH, RANGE 28 EAST, THENCE SOUTH 87°59'49" WEST ALONG THE SOUTHERLY LINE OF SAID SECTION 28 FOR 18.00 FEET, THENCE NORTH 01°46'12" WEST, PARALLEL WITH THE EAST LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) FOR 586.62 FEET, THENCE SOUTH 87°59'49" WEST FOR 83.51 FEET; THENCE NORTH 01°46'12" WEST FOR 236.00 FEET; THENCE NORTH 87°59'49" EAST FOR 35.35 FEET; THENCE NORTH 01°49'26" WEST ALONG THE WESTERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 2748, PAGE 1803 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 159.83 FEET, THENCE SOUTH 88°02'24" WEST, PARALLEL WITH THE NORTH LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHEAST ONE-QUARTER (SE 1/4) OF SECTION 28 FOR 895.03 FEET TO THE WEST LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SE 1/4); THENCE NORTH 01°46'07" WEST, ALONG THE WEST LINE FOR 345.00 FEET TO THE NORTHWEST CORNER OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SE 1/4); THENCE NORTH 88°02'21" EAST ALONG THE NORTH LINE OF SAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SE 1/4) OF SECTION 28 FOR 609.75 FEET; THENCE SOUTH 01°46'07" EAST ALONG THE WESTERLY LINE OF THE AFORESAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 2748, PAGE 1803, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR A DISTANCE OF 518.81 FEET TO THE NORTHERLY BOUNDARY OF LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 87°59'49" WEST ALONG SAID BOUNDARY FOR 34.88 FEET TO THE NORTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE SOUTH 01°46'12" EAST FOR 208.00 FEET TO THE SOUTHWEST CORNER OF SAID LANDS DESCRIBED IN OFFICIAL RECORD BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA; THENCE NORTH 87°59'45" EAST, ALONG THE NORTHERLY BOUNDARY OF SAID LANDS DESCRIBED IN OFFICIAL RECORDS BOOK 3141, PAGE 1427, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA FOR 83.51 FEET TO THE EAST LINE OF THE AFORESAID EAST ONE-HALF (E 1/2) OF THE SOUTHWEST ONE-QUARTER (SW 1/4) OF THE SOUTHWEST ONE-QUARTER (SE 1/4) OF SECTION 28; THENCE SOUTH 01°46'12" EAST ALONG SAID EAST LINE, FOR 601.62 FEET TO THE POINT OF BEGINNING, LESS AND EXCEPT THEREFROM THE SOUTHERLY 30 FEET FOR ROAD RIGHT-OF-WAY.

SAID LANDS SITUATE, LYING AND BEING IN ORANGE COUNTY, FLORIDA, CONTAINING 21.1362 ACRES MORE OR LESS

SURVEY NOTES:

- 1. ALL PROPERTY CORNERS ARE SET IRON PIPE & CAP, WHI, LB 8214, UNLESS OTHERWISE NOTED.
- 2. BELOW GROUND IMPROVEMENTS AND/OR ENCROACHMENTS, IF ANY, WERE NEITHER INVESTIGATED NOR LOCATED UNLESS SPECIFICALLY NOTED.
- 3. THIS SURVEY IS NOT VALID UNLESS IT BEARS THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF THE CERTIFYING SURVEYOR.
- 4. ELEVATIONS SHOWN HEREON ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (N.A.V.D. 88).
- 5. BENCHMARK OF ORIGIN, ORANGE COUNTY ENGINEERING DEPARTMENT, BENCHMARK "1.1370003", EL=116.00 (NAVD88) AND BENCHMARK "1.1305017", EL=116 (NAVD88).
- 6. SURVEY (FIELDWORK) WAS PERFORMED ON 10/6/2017.
- 7. NO SEARCH OF THE PUBLIC RECORDS WAS PERFORMED BY THIS FIRM.

SCHEDULE B-II, HACKLEMAN, OLIVE & JUDD, P.A.
ISSUING OFFICE FILE NUMBER 17-1311, DATED SEPTEMBER 18, 2017 AT 8:00AM

ITEM #1 THROUGH ITEM #7 ARE STANDARD COMMITMENT ITEMS AND ARE NOT PLOTTABLE.
ITEM #8 EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 4088, PAGE 4289, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA DOES AFFECT THE SUBJECT PROPERTY AND IS SHOWN HEREON.

SCHEDULE B-II, HACKLEMAN, OLIVE & JUDD, P.A.
ISSUING OFFICE FILE NUMBER 17-1311, DATED SEPTEMBER 18, 2017 AT 8:00AM

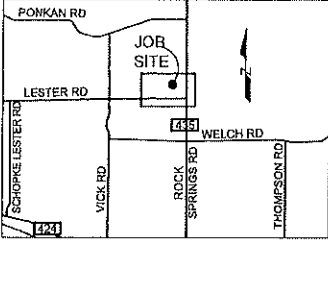
ITEM #1 THROUGH ITEM #6 ARE STANDARD COMMITMENT ITEMS AND ARE NOT PLOTTABLE.
ITEM #7 EASEMENT TO FLORIDA POWER CORPORATION AS CONTAINED IN INSTRUMENT RECORDED IN OFFICIAL RECORD BOOK 4088, PAGE 4289, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA DOES AFFECT THE SUBJECT PROPERTY AND IS SHOWN HEREON.

SCHEDULE B-II, HACKLEMAN, OLIVE & JUDD, P.A.
ISSUING OFFICE FILE NUMBER 17-1311, DATED SEPTEMBER 18, 2017 AT 8:00AM

ITEM #1 THROUGH ITEM #7 ARE STANDARD COMMITMENT ITEMS AND ARE NOT PLOTTABLE.

LEGEND:

- ASPH. ASPHALT
- B.M. BENCHMARK
- B.C.R. BROWARD COUNTY RECORDS
- C. CALCULATED
- C.B. CATCH BASIN
- CL. CENTERLINE
- CLF. CHAIN LINK FENCE
- CLUB. CLUB
- CLP. CONCRETE LIGHT POLE
- CM. CONCRETE
- CPF. CONCRETE POWER POLE
- CUP. CONCRETE UTILITY POLE
- D. DEED
- D.B. DIRECTIONAL BORE
- D.E. DRAINAGE EASEMENT
- EDW. EDGE OF WATER
- FND. FOUND
- HN. HOLE
- IP. IRON PIPE
- IP. IRON PIPE AND CAP
- IR. IRON ROD
- EL. ELEVATION
- ELEC. MTR. ELECTRIC METER
- EDP. EDGE OF PAVEMENT
- ENC. FENCE
- FND. FOUND
- FLA. FLORIDA POWER & LIGHT
- MAN. MANHOLE
- N.A.L. NON-VOLUNTARILY
- O.C.R. ORANGE COUNTY RECORDS
- OHV. OVERHEAD WIRE
- OP. OFFICIAL RECORD BOOK
- PA. PAGE
- P.B. POINT OF BEGINNING
- P.O.B. POINT OF COMMENCEMENT
- P.R.M. PERMANENT REFERENCE MARK
- R. RECORD
- R.O.W. RIGHT-OF-WAY
- TOP. TOP OF BANK
- UE. UTILITY EASEMENT
- W.P. WOOD LIGHT POLE
- W.P.P. WOOD POWER POLE



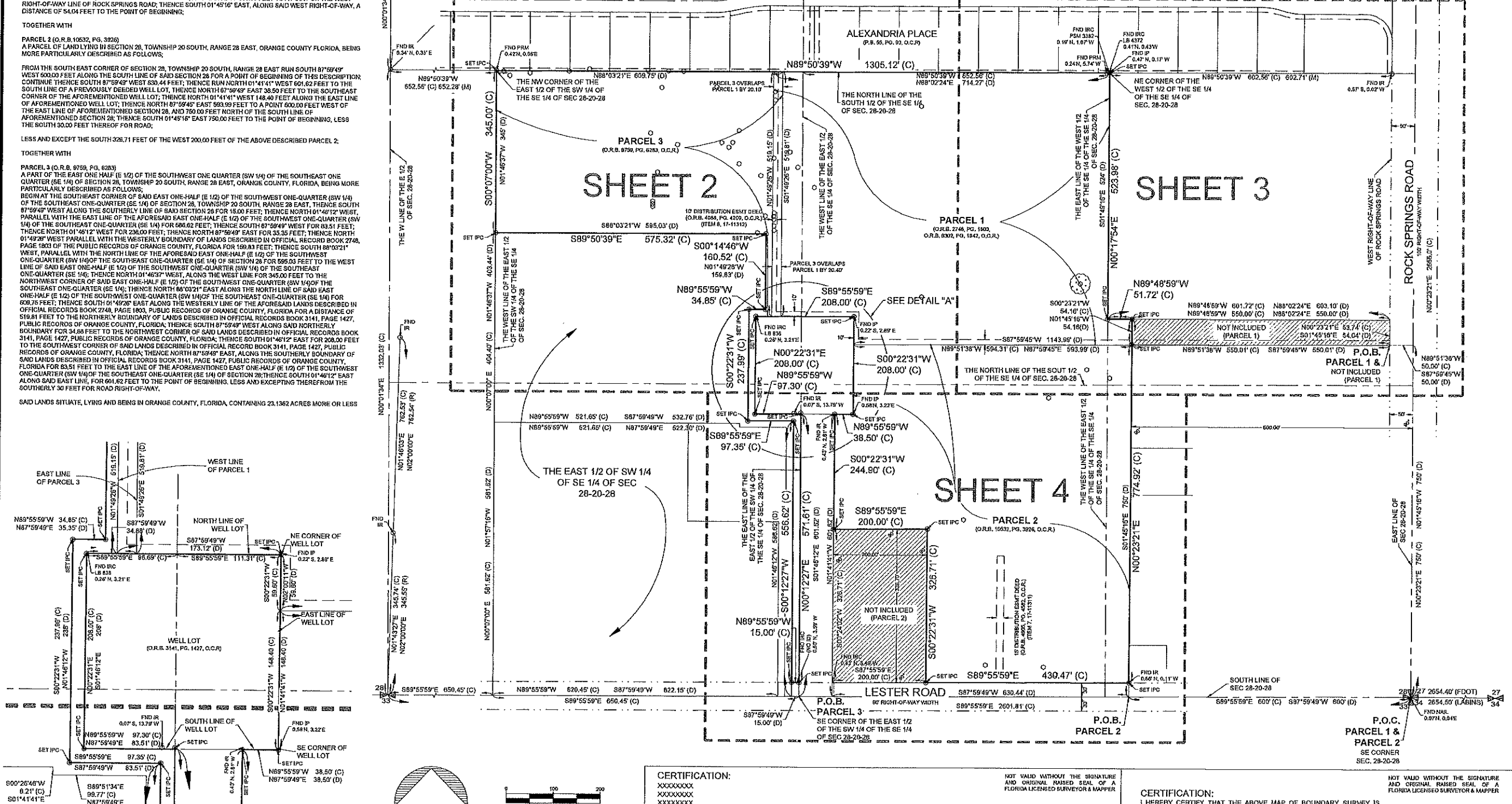
SCALE	DRAWN	SM
AS SHOWN	DESIGNED	
PROJECT	CHECKED	DJS
SHEET	DATE	1/8/2018
1	OF	4
BUSINESS NO. 32108		

WHILFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
245 N. WESTWATER DRIVE
ALMAYOR SPRINGS, FL 32714
(407) 798-3123
ORLANDO

SHEET 2

SHEET 3

SHEET 4



WHILFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
245 N. WESTWATER DRIVE
ALMAYOR SPRINGS, FL 32714
(407) 798-3123
ORLANDO

ALTAÑS LAND TITLE SURVEY
ROCK SPRINGS RD & LESTER RD,
APOPKA, FLORIDA

CERTIFICATION:
XXXXXXXXX
XXXXXXXXX
XXXXXXXXX

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE ACCORDANCE WITH THE 2018 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTAÑS LAND SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 4, 11, 14, 18, 17, 16 OF TABLE THEREOF. THE FIELDWORK WAS COMPLETED ON 10/6/2017.

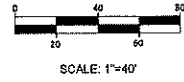
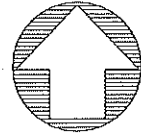
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NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER

WILSON WAY
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 2885
DATE: 12/20/17

CERTIFICATION:
I HEREBY CERTIFY THAT THE ABOVE MAP OF BOUNDARY SURVEY IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND CONFORMS WITH THE STANDARDS OF PRACTICE FOR LAND SURVEYS ADOPTED BY THE FLORIDA STATE BOARD OF PROFESSIONAL LAND SURVEYORS IN CHAPTER 5J-17.052, OF THE FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AS AMENDED.

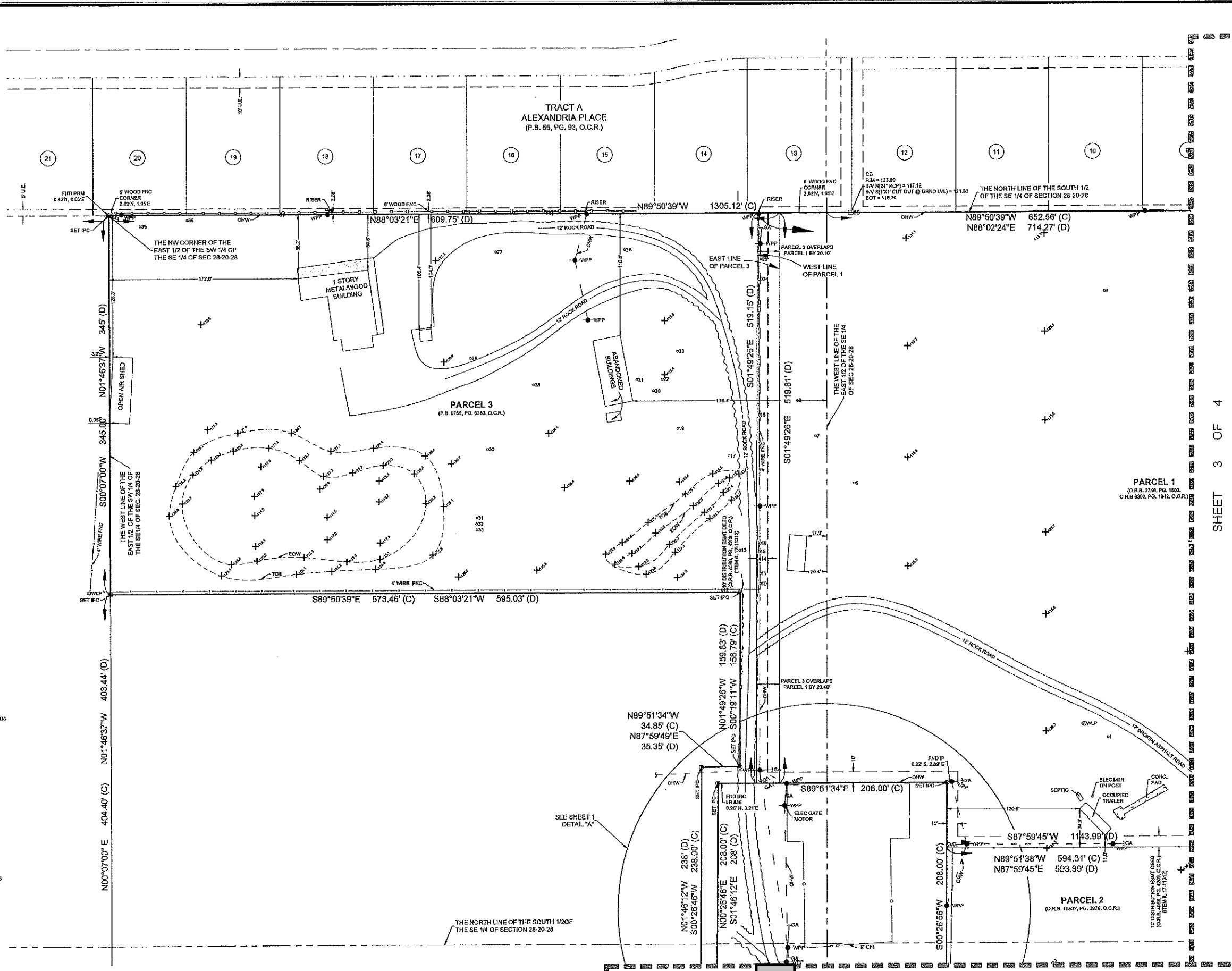
WILSON WAY
PROFESSIONAL SURVEYOR & MAPPER
FLORIDA REGISTRATION NO. 2885
DATE: 12/20/17



#	DI	DESCRIPTION
#	24	OAK
#	15	OAK
#	28	OAK
#	38	OAK
#	12	MAPLE
#	10	OAK
#	6	OAK
#	16	OAK
#	10	OAK
#	10	OAK
#	15	OAK
#	15	SABAL PALM
#	6	OAK
#	8	OAK
#	8	OAK
#	15	MAHOGANY
#	15	SABAL PALM
#	18	OAK
#	30	OAK
#	10	TWIN SABAL PALM
#	15	SABAL PALM
#	34	OAK
#	15	SABAL PALM
#	8	TWIN OAK
#	30	OAK
#	24	OAK
#	36	OAK
#	40	OAK
#	36	OAK
#	10	SABAL PALM
#	6	SABAL PALM
#	10	SABAL PALM
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#	15	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	45	OAK
#	48	OAK
#	45	OAK
#	12-30	CLUSTER OAK

LEGEND:

- ASPHL ASPHALT
- B.M. BENCH MARK
- C.O.R. ORANGE COUNTY RECORDS
- C. CALCULATED
- C.B. DITCH BASIN
- C.L. CENTERLINE
- C.L.F. CHAIN LINK FENCE
- C.I. CURB INLET
- C.L.P. CONCRETE LIGHT POLE
- CONC. CONCRETE
- C.P.P. CONCRETE POWER POLE
- C.U.P. CONCRETE UTILITY POLE
- D. DEED
- D.B. DIRECTIONAL BONE
- D.E. DRAINAGE EASEMENT
- EW. EDGE OF WATER
- FND. FOUND
- H. HAND HOLE
- I.P. IRON PIPE
- I.P.C. IRON PIPE AND CAP
- I.R. IRON ROD
- EL. ELEVATION
- E.L.O.M. ELECTRIC METER
- E.O.P. EDGE OF PAVEMENT
- F.N.C. FENCE
- F.N.D. FOUND
- F.L. FLORIDA POWER & LIGHT
- M.H. MANHOLE
- N.W.A.L. NON-VOLUNTARILY
- C.O.R. ORANGE COUNTY RECORDS
- O.H.W. OVERHEAD WIRE
- O.R.B. OFFICIAL RECORD BOOK
- P.B. PLAT BOOK
- P.G. PAGE
- P.O.B. POINT OF BEGINNING
- P.O.C. POINT OF COMMENCEMENT
- P.R.M. PERMANENT REFERENCE
- R. MONUMENT
- R. RECORDED
- R.W. RIGHT-OF-WAY
- T.O.B. TOP OF BANK
- U.E. UTILITY EASEMENT
- W.L.P. WOOD LIGHT POLE
- W.P.P. WOOD POWER POLE



SHEET 3 OF 4

REV.	DATE	DESCRIPTION
1	12/4/17	ADD OVERLAPPING DISTANCES
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WOHLFARTH CONSULTING GROUP LLC
ENGINEERS & PLANNERS
242 N. WESTGATE DRIVE
ALMA, FLORIDA 32714
(407) 292-3133
ORLANDO

ALTANSPS LAND TITLE SURVEY
ROCK SPRINGS RD & LESTER RD, APOPKA, FLORIDA

SCALE	AS SHOWN	DESIGNED	CHECKED	DATE
				1/5/2018
SHEET	2	OF	4	
BUSINESS NO.	32108			

SHEET 4 OF 4

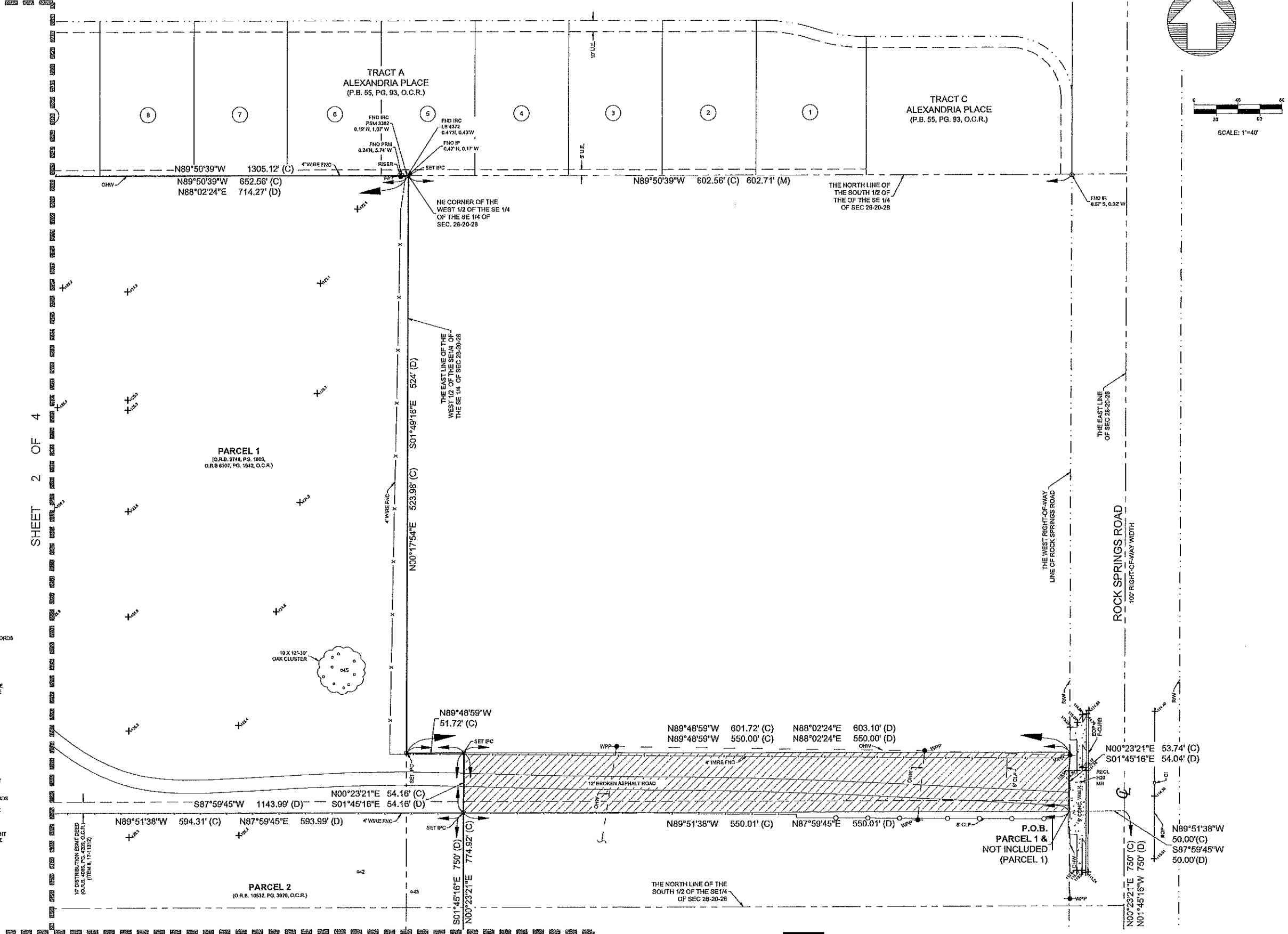
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#	Q"	DESCRIPTION
#	24	OAK
#	15	OAK
#	28	OAK
#	40	OAK
#	38	OAK
#	12	MAPLE
#	10	OAK
#	8	OAK
#	15	OAK
#	10	OAK
#	15	OAK
#	15	SABAL PALM
#	8	OAK
#	8	OAK
#	8	OAK
#	15	MAHOGANY
#	15	SABAL PALM
#	15	OAK
#	30	OAK
#	10	TWY SABAL PALM
#	15	SABAL PALM
#	34	OAK
#	15	SABAL PALM
#	8	TWY OAK
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#	56	OAK
#	40	OAK
#	36	OAK
#	10	SABAL PALM
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#	15	SABAL PALM
#	15	SABAL PALM
#	48	OAK
#	48	OAK
#	48	OAK
#	12-30	CLUSTER OAK

LEGEND:

ASPH	ASPHALT
B.M.	BENCH MARK
B.C.R.	BROWARD COUNTY RECORDS
C	CALCULATED
C.B.	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
CL	CURB DILET
CLP	CONCRETE LIGHT POLE
COND.	CONCRETE
CPP	CONCRETE POWER POLE
CUP	CONCRETE UTILITY POLE
D	DRED
D.B.	DIRECTIONAL BORE
D.E.	DRAINAGE EASEMENT
EW	EDGE OF WATER
FND	FOUND
H	HAND HOLE
IP	IRON PIPE
IPC	IRON PIPE AND CAP
IR	IRON ROD
EL	ELEVATION
ELEC. MTR.	ELECTRIC METER
EOP	EDGE OF PAVEMENT
FENCE	FENCE
FND	FOUND
FPL	FLORIDA POWER & LIGHT
M	MANHOLE
N.V.A.L.	NON-VEHICULAR
O.C.R.	ORANGE COUNTY RECORDS
OWN	OWNER'S EVIDENCE
O.R.B.	OFFICIAL RECORD BOOK
P.B.	PLAT BOOK
P.O.	FACE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
PRM	PERMANENT REFERENCE MONUMENT
R	RECORDED
R.W.	RIGHT-OF-WAY
TOB	TOP OF BANK
U.E.	UTILITY EASEMENT
W.L.P.	WOOD LIGHT POLE
W.P.	WOOD POWER POLE

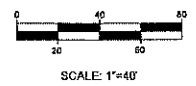
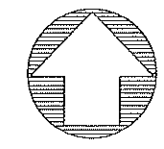
SHEET 2 OF 4



SHEET 4 OF 4

71

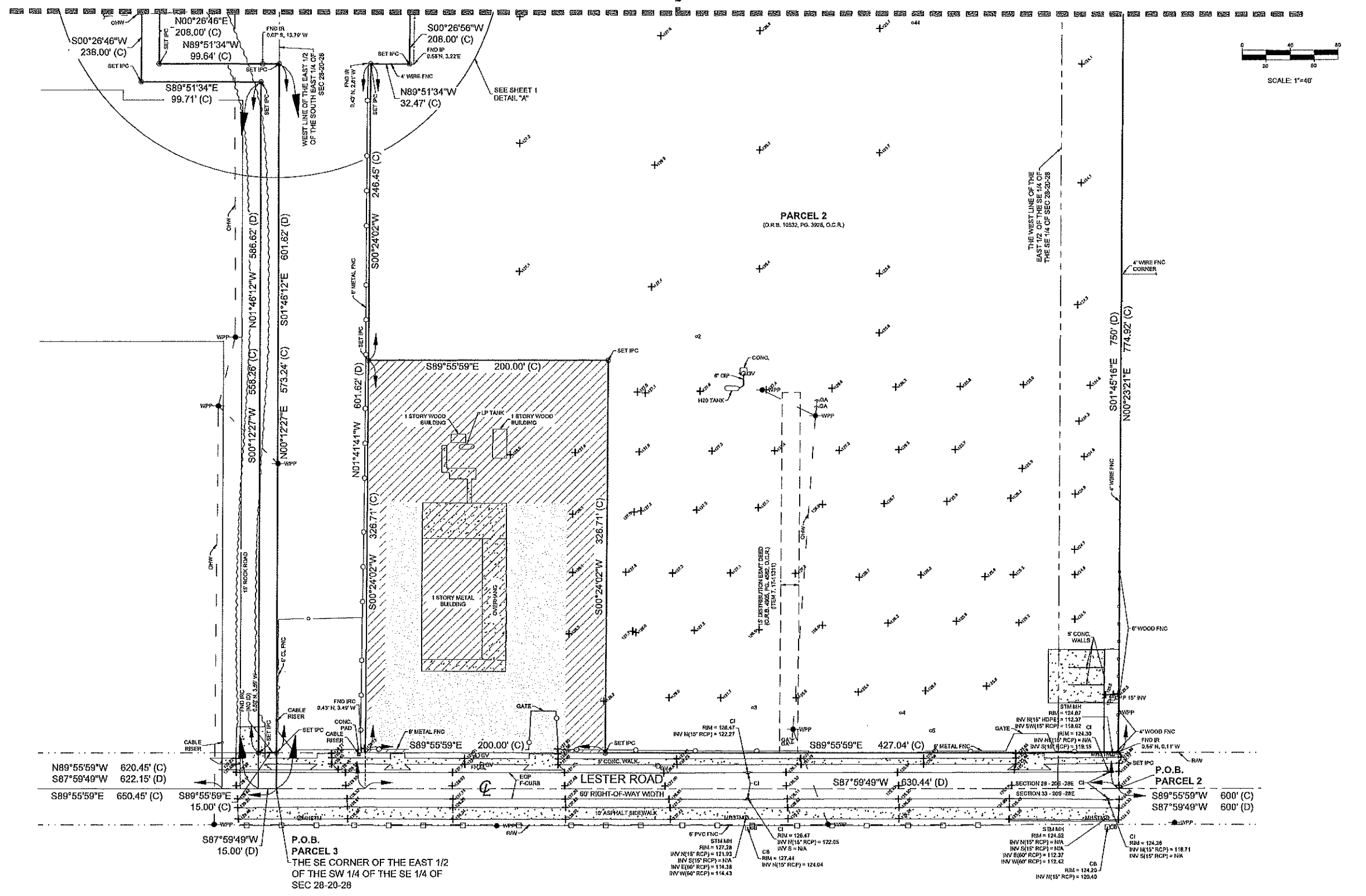
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS <small>846 N. WESTWIND DRIVE APOPKA, FLORIDA 32714 (407) 258-3123 ORLANDO</small>	
ALTAÑSPS LAND TITLE SURVEY ROCK SPRINGS RD & LESTER RD, APOPKA, FLORIDA	
SCALE: AS SHOWN PROJECT: --- SHEET: 3 OF 4	DRAWN: SM DESIGNED: --- CHECKED: DJS DATE: 1/5/2018
BUSINESS NO. 32108	



#	QTY	DESCRIPTION
#	24	OAK
#	15	OAK
#	28	OAK
#	40	OAK
#	36	OAK
#	12	MAPLE
#	10	OAK
#	6	OAK
#	16	OAK
#	10	OAK
#	10	OAK
#	15	OAK
#	15	SABAL PALM
#	6	OAK
#	5	OAK
#	6	OAK
#	15	MIMOSA
#	15	SABAL PALM
#	16	OAK
#	30	OAK
#	10	TWIN SABAL PALM
#	15	SABAL PALM
#	34	OAK
#	15	SABAL PALM
#	9	TWIN OAK
#	30	OAK
#	24	OAK
#	36	OAK
#	40	OAK
#	36	OAK
#	10	SABAL PALM
#	8	SABAL PALM
#	10	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	15	SABAL PALM
#	16	SABAL PALM
#	46	OAK
#	46	OAK
#	46	OAK
#	12-30	CLUSTER OAK

LEGEND:

ASPH	ASPHALT
B.M.	BENCH MARK
B.C.R.	BROWARD COUNTY RECORDS
C.	CALCULATED
C.B.	CATCH BASIN
CL	CENTERLINE
CLF	CHAIN LINK FENCE
C.	CURB INLET
CLP	CONCRETE LIGHT POLE
CONC	CONCRETE
CPP	CONCRETE POWER POLE
CLP	CONCRETE UTILITY POLE
D.	DEED
D.B.	DIRECTIONAL BORE
D.E.	DRAINAGE EASEMENT
EW	EDGE OF WATER
FND	FOUND
H.	HAND HOLE
IP	IRON PIPE
IPC	IRON PIPE AND CAP
IR	IRON ROD
EL.	ELEVATION
ELEC. MTR.	ELECTRIC METER
EOP	EDGE OF PAVEMENT
FNC.	FENCE
FND	FOUND
FLR.	FLORIDA POWER & LIGHT
MH	MANHOLE
NON-VOL.	NON-VEHICULAR
O.C.R.	ORANGE COUNTY RECORDS
OW	OVERHEAD WIRE
O.R.B.	OFFICIAL RECORD BOOK
P.B.	PLAT BOOK
P.O.	PAGE
P.O.B.	POINT OF BEGINNING
P.O.C.	POINT OF COMMENCEMENT
PRM	PERMANENT REFERENCE MONUMENT
R.	RECORDED
R.W.	RIGHT-OF-WAY
T.O.B.	TOP OF BANK
U.E.	UTILITY EASEMENT
WLP	WOOD LIGHT POLE
WPP	WOOD POWER POLE



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTHART DRIVE ALHAMBRA, SPRINGFIELD, FL 32714 (407) 486-1100 ORLANDO	
ALTANSPS LAND TITLE SURVEY	
ROCK SPRINGS RD & LESTER RD, APOPKA, FLORIDA	
SCALE: AS SHOWN	DATE: 1/5/2018
PROJECT: ---	SHEET: 4 OF 4
DESIGNED: ---	CHECKED: DJS
DRAWN: ---	DATE: 1/5/2018
BUSINESS NO. 32108	

A. Design Standards

1. Lot Criteria
2. Daf

B. Architectural, Buildings, and Accessory Structures

1. Architectural design shall meet the intent of City of Apopka Development Design Guidelines.
2. All lots shall have detached single family homes.
3. All lots shall have attached 2 car garages.
4. Face of wall containing a front entry garage shall not extend past the front building wall. Setback to wall shall be 25' minimum from front property line.
5. Bedrooms per individual home must be between two to five.
6. AC condenser units, utility storage & similar equipment shall be placed in the rear yard area. Units & similar equipment shall not be placed inside the side yard building setback. Units shall be screened from side streets with landscaping or opaque fencing.
7. Trash recycle bin pads (minimum 6'x4') shall be provided within the rear yard or trash recycle bins to be left in the garage.
8. Storage sheds or similar storage facilities be allowed subject to the approval of the HOA and the City of Apopka.
9. Swimming pools shall be allowed on Single-Family Detached with rear yards of 20' or greater.
 - i. Swimming Pools must be in-ground type. Above Ground Pools are prohibited.
 - ii. Swimming pools and decks are prohibited from projecting beyond the side wall facade.
10. Screen enclosures over swimming pools and their respective deck area with non-metal or non-vinyl roofs shall be allowed.
 - i. Screen enclosures over swimming pools and their respective deck area shall be single story with dome or angled roofs. Enclosure structural members shall be bronze. Screening shall be dark mesh. Solid opaque or clear panels on the walls or roofs are prohibited.
 - ii. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.

- iii. Screen enclosure shall maintain the same side yards as the main dwelling structure.

11. Mail delivery for all lots shall occur at mail kiosk with cluster mailbox units. Mail kiosk shall provide covered roof area for protection from inclement weather. See plans for street elevation.

12. Architectural Design Standards:

- i. Country European, or Craftsman architectural styles or themes shall be applied to houses, community buildings, and mail kiosk. Architectural Style elements shall be applied to front façade only. See sheet “B-1.0” for conceptual front elevations. Modification or replacement of the exterior elevations on Sheet “B-1.0” can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
- ii. Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
- iii. 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
- iv. Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
- v. Window Banding/trim and front door shall be painted an accent color.
- vi. Pavers shall be installed at front yard driveways, lead walks, porches, and porticos.

13. Front Building Entrance Elevation Design Standards:

- i. Each home shall have a front porch or portico.
- ii. Model plan type shall not be constructed adjacent to the same model plan type without a different elevation style type.
- iii. Specific elevation style types shall have similar wall finishes, window grid patterns, window banding & trim, roof lines and slopes, etc. Applied to each lot width model plan type front elevations.
- iv. Identical exterior paint schemes shall not be applied on adjacent lots.
- v. Modification or replacement of the exterior elevation on Sheet “B-1.0” can be approved by the Community Development Director if such changes

represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.

14. Mail Kiosk Elevation Design Standards:

- i. Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosk within the community. See Sheet “C 5.0”.
- ii. Modification or replacement of the exterior elevation on Sheet “C5.0” can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.

15. Community Building Elevation Design Standards:

- i. Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosk within the community. See Sheet “C5.0”.
- ii. Modification or replacement of the exterior elevation on Sheet “A-3” can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.

16. Fencing Standards:

- i. Community Perimeter Fencing not included. See applicable Landscape Plan Sheet L1.0-L1.1.
- ii. See sheet “C 5.0” for conceptual fencing plans.
- iii. Fencing is prohibited in front yards.
- iv. Fencing at rear yards of 40’ wide or garage front loaded lots shall be tan vinyl opaque style fencing. See sheet “C5.0” for illustration.
- v. Maximum height is 6’-0” above final grade. No fence shall exceed the height of an abutting common area wall.
- vi. Rear yard fences shall not project more than 5’ beyond rear side wall building corner.

C. Utilities and Infrastructure

1. Water service shall be provided by the City of Apopka. The water system shall be designed to city standards.
2. Reclaim water service shall be provided by the City of Apopka. The reclaim water system shall be designed to city standards.

3. Storm water management system shall be designed to comply with the requirements of the City of Apopka and St. Johns River Water Management District for projects without a positive outfall.
4. A final drainage report and soils report will be submitted with final development plans
5. Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to city standards.
6. Utility easements shall be dedicated to the City of Apopka.
7. Drainage easements to be dedicated to the home owners association unless otherwise accepted by the City of Apopka.
8. All storm water and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the final engineering plans.
9. On-site streets are to be constructed per City of Apopka standards.
10. A signage plan will be provided with the final development plan submittal.
11. Stabilized access roadways and fire hydrants must be in place before building construction may begin.
12. Solid waste collection and public safety (police and fire) provided by the City of Apopka.
13. The internal street right-of-way is to be Private.
14. Four (4) and five (5) foot wide sidewalks to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Land Development Code. Sidewalk alignment may be adjusted at final development plan to preserve existing trees.
15. A five-foot wide sidewalk shall be constructed within the Easement along Entrance Pond.
16. Lot parking shall be provided at a rate of 4 parking spaces per dwelling unit. Provided parking shall at a minimum contain 2 parking spaces within the driveway and 2 parking spaces within an enclosed garage.
17. The development shall provide a minimum of 50 on-street parking spaces.
18. Garages shall be accessed from the adjacent private right-of-way at the front of the lot.
19. Power service within the development shall be underground. No overhead service will be allowed.

20. Vehicular, Pedestrian and Accent lighting shall substantially conform the Section 3.10 – Lighting of the City of Apopka Development Design Guidelines.

D. Recreation and Open Space

1. Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka Small Lot Overlay Zoning District Section 3.04.00(4)(A) and LDC Section 2.02.18(D)(19).
2. Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit. $([113 \times 2.6] / 1000) \times 3.6 = 1.05$ acres.
3. Recreation Tract “PR-1” shall be an approximate .52-acre Pool/Cabana. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Pool Cabana area amenities shall include a single-story Cabana Bath, Swimming Pool and Deck, and Mail Kiosk at a minimum. The Cabana Bath and covered patio shall be minimum of 500 SF containing restroom facilities for the building and pool, covered unscreened lanai area.
4. Recreation Tract “PR-2” shall be an approximate 0.20-acre Dog Park and shall be completed concurrent with Phase 1 of the development. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Dog park area shall be enclosed and amenities shall include at a minimum one (1) Dog Waste Bag & Disposal Station
5. Fence on the dog park perimeter will not exceed 4-feet in height. Material may be wrought iron, vinyl or black vinyl-coated chain linked fences.
6. Recreation Tracts 3-6 will incorporate pedestrian circulation, benches, and open play areas. Specific park site plans and amenities/equipment shall be provided with the Final Development Plan.

E. Buffers and Landscaping

1. A twenty (20) foot buffer tract for perimeter wall and landscaping will be provided along the Lester Road frontage. This tract shall be dedicated to and maintained by the HOA. The design of these buffer tracts shall generally follow the landscape design appearing on sheets L 1.0 of the Master Plan/Preliminary Development Plan. A six (6') foot high wall is provided in these tracts to provide buffering from the adjacent roadways.
2. A ten (10) foot wide buffer tract for perimeter fence and landscaping will be provided on the eastern and western property line. These tracts shall be dedicated to and maintained by the HOA. The design of this buffer shall generally follow the landscape design appearing on sheets L 1.0 to L1.1 of the Master Plan/Preliminary Development Plan. A six (6') foot high vinyl fence is provided in these tracts to buffer the adjacent agriculture-zoned properties.

3. Entrance feature and community sign will be provided with final development plans.
4. Final landscape plans for the buffer areas along Lester Road will be provided with the final development plans.
5. Tree Planting Conditions. Minimum of two new trees shall be planted per 40' wide residential lot. The new trees shall be a minimum of 2.0 inches DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
6. Tree Protection Plan - The Final Development Plan shall include tree protection techniques to prevent harm to any trees designate to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, silt fencing, or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

1. Homeowners association will maintain all lots, common areas, roadway tracts, fences\walls, and landscaping within all lots.
2. 2The final development plan shall include the plat document, and the plat shall be in final form.
3. The Homeowner's Association shall be responsible for maintenance of streets, on-street parallel parking spaces, and street lighting and stormwater collection systems within the private rights-of-way within the San Sabastian Subdivision.

G. Wetlands and Environmental

1. There are no wetlands or environmentally sensitive areas on the site.
2. There are no 100-year flood plain areas within the site.
3. An erosion protection plan will be submitted with final development plans.
4. Tree removal, tree replacement, and landscaping shall be in conformance with Article V of the City of Apopka Land Development Code.
5. Development Condition Continuity
6. The PUD Development Standards shall be printed within the PUD Master Plan and the Final Development Plan.

H. Signage

1. Signage shall comply with the City of Apopka Land Development Code and City of Apopka Development Design Guidelines.

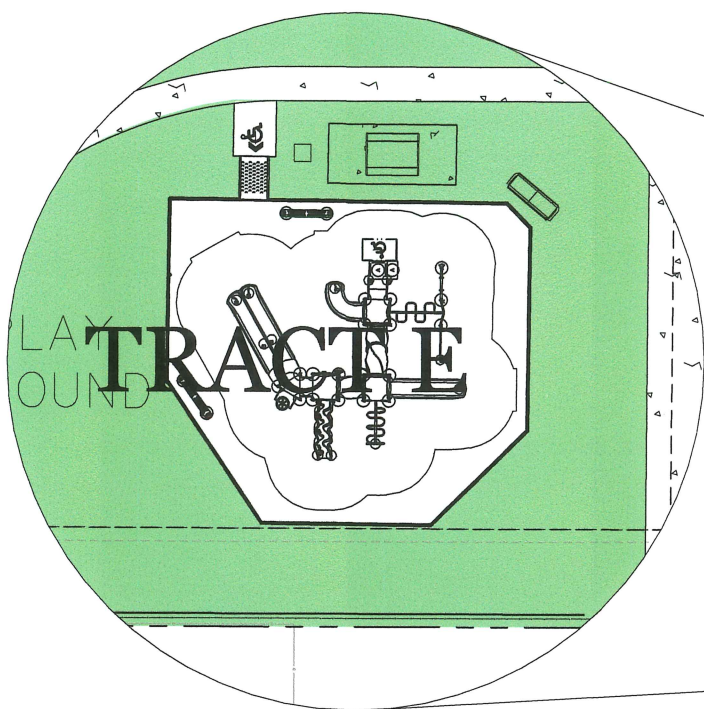
I. Lighting

1. Lighting shall comply with the City of Apopka's City Ordinance No. 2069. Street and parking area or pedestrian path light poles shall be decorative type and details provided with the Final Development Plan.
2. Garbage Pickup
3. Front loaded single family units to be picked up at the adjacent front right-of-way.

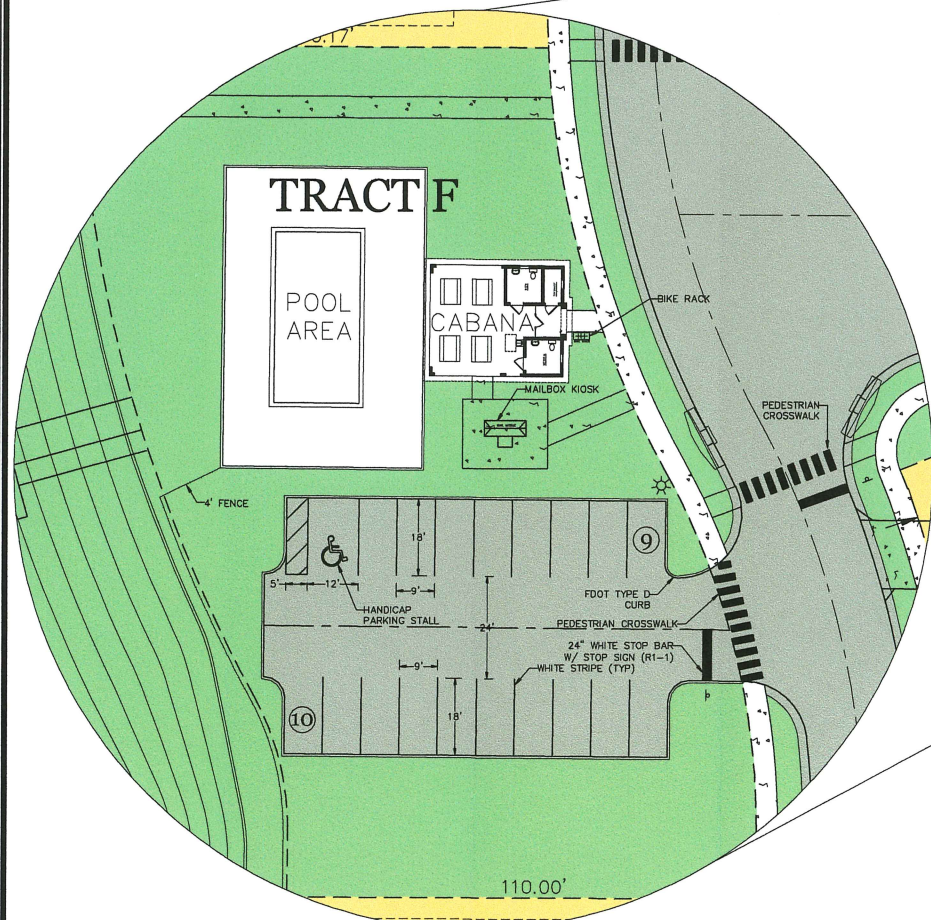
J. Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
2. All acreages are subject to change with final engineering and final plat review and approval.
3. Outdoor storage areas (boats, trailers, recreational vehicles, etc.) are not provided within the development and will be prohibited through the HOA documents.

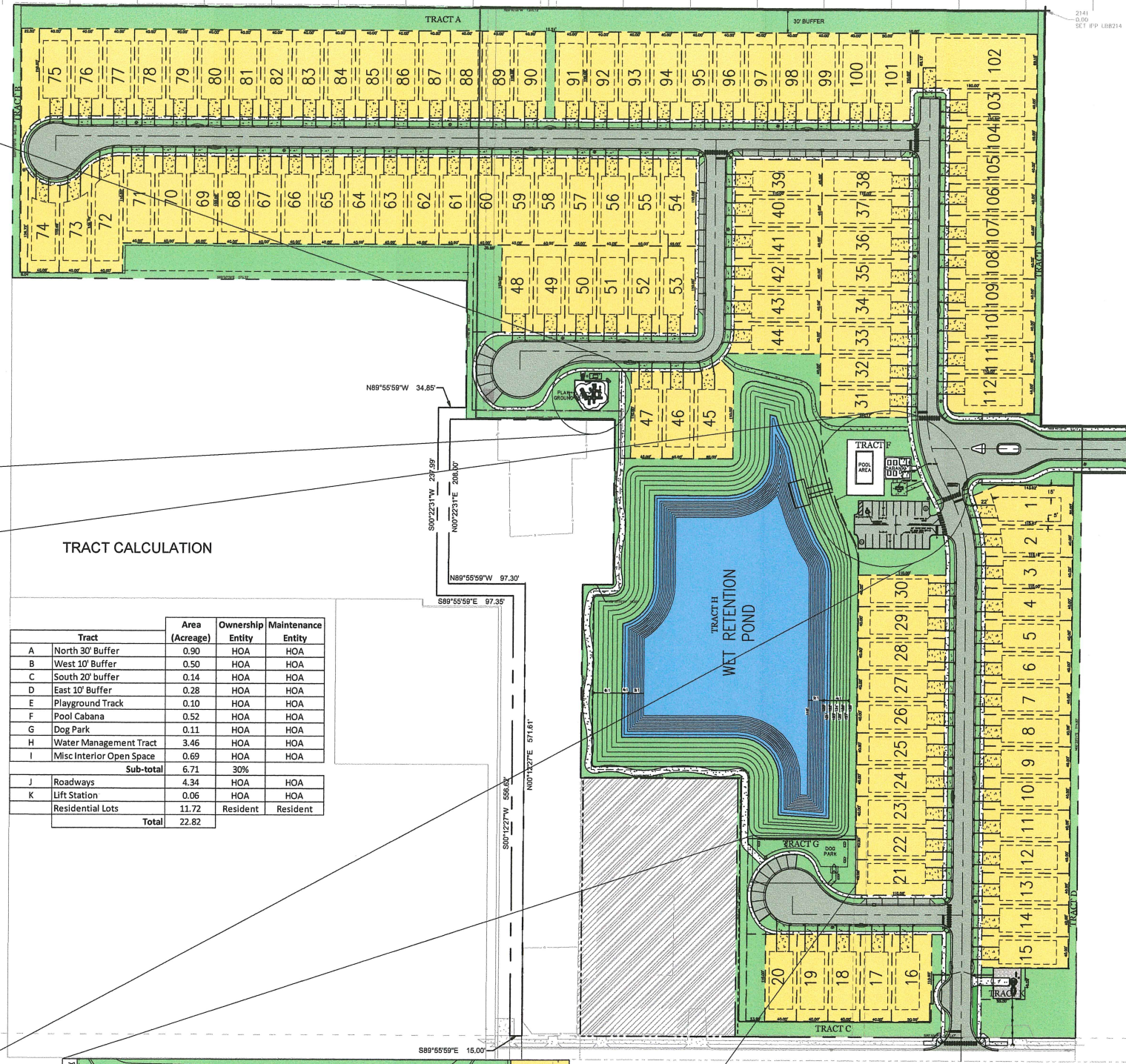
C:\Users\Dennis Murray\Dropbox\Rick Wohlforth\Son Sebastian\OWS\Preliminary Development Plan\2017-01-C1.3-Amenity Open Space Plan.dwg Plotted: 2/5/2018 By: dennis murray



1 PLAYGROUND
1 inch = 20 ft.

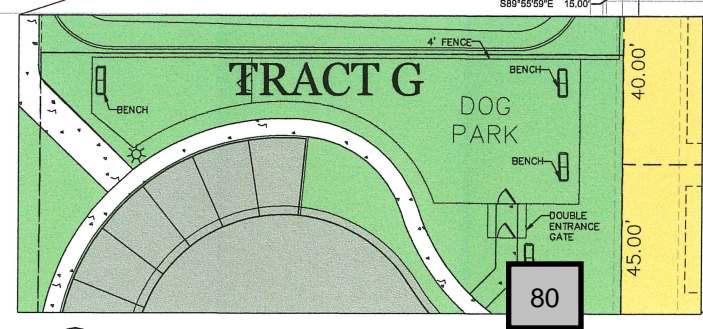


2 CLUB HOUSE/ POOL CABANA W/ WATER FRONT DOCK
1 inch = 10 ft.

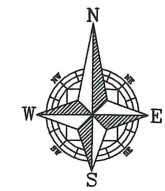


TRACT CALCULATION

Tract	Area (Acreage)	Ownership Entity	Maintenance Entity
A North 30' Buffer	0.90	HOA	HOA
B West 10' Buffer	0.50	HOA	HOA
C South 20' Buffer	0.14	HOA	HOA
D East 10' Buffer	0.28	HOA	HOA
E Playground Tract	0.10	HOA	HOA
F Pool Cabana	0.52	HOA	HOA
G Dog Park	0.11	HOA	HOA
H Water Management Tract	3.46	HOA	HOA
I Misc Interior Open Space	0.69	HOA	HOA
Sub-total	6.71	30%	
J Roadways	4.34	HOA	HOA
K Lift Station	0.06	HOA	HOA
Residential Lots	11.72	Resident	Resident
Total	22.82		



3 DOG PARK
1 inch = 20 ft.



WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALHAMBRA SPRINGS, FL 32714 (407) 750-3123		DATE REV.	DESCRIPTION
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		AMENITY/OPEN SPACE PLAN	
SCALE VARIABLES	DRAWN DM	DESIGNED ---	CHECKED RW
PROJECT 2017-011	SHEET C-1.3	DATE 1/13/2018	BUSINESS NO. 32108 2518
GROUP LAND DEVELOPMENT & ENGINEERING SERVICES NOT FOR CONSTRUCTION			

C:\Users\Dennis.Murray\Dropbox\Rick.Wohlforth\San Sebastian\DWG\Preliminary Development Plan\2017-011-06- Bldg Elevations.dwg Plotfile: 2/5/2018 By: dennis.murray

30' OWNER'S UP PRODUCT
Andorra
1872 SQFT :: 30' x 50'

FIRST FLOOR :: 879 SQFT
BASE PLAN

SECOND FLOOR :: 993 SQFT
BASE PLAN

FLORIDA - ORLANDO
San Sebastian
Page 9 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Corbera
2181 SQFT :: 30' x 60'

FIRST FLOOR :: 968 SQFT
BASE PLAN

SECOND FLOOR :: 1213 SQFT
BASE PLAN

FLORIDA - ORLANDO
San Sebastian
Page 10 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Marabella
2442 SQFT :: 30' x 65'-4"

FIRST FLOOR :: 1133 SQFT
BASE PLAN

SECOND FLOOR :: 1309 SQFT
BASE PLAN

FLORIDA - ORLANDO
San Sebastian
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KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Andorra
1872 SQFT :: 30' x 50'

FORM A FORM B FORM C

FLORIDA - ORLANDO
San Sebastian
Page 9 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Corbera
2181 SQFT :: 30' x 60'

FORM A FORM B FORM C

FLORIDA - ORLANDO
San Sebastian
Page 10 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Marabella
2442 SQFT :: 30' x 65'-4"

FORM A FORM B FORM C

FLORIDA - ORLANDO
San Sebastian
Page 11 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Paloma
2709 SQFT :: 30' x 66'

FIRST FLOOR :: 1195 SQFT
BASE PLAN

SECOND FLOOR :: 1514 SQFT
BASE PLAN

FLORIDA - ORLANDO
San Sebastian
Page 9 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Valencia
2749 SQFT :: 30' x 70'

FIRST FLOOR :: 1355 SQFT
BASE PLAN

SECOND FLOOR :: 1394 SQFT
BASE PLAN

FLORIDA - ORLANDO
San Sebastian
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Corporate Product Development - WPC Design Studio

POOL CABANA

FIRST FLOOR
SCALE: 1/8" = 1'-0"

ROOF PLAN
SCALE: 1/8" = 1'-0"

FRONT ELEVATION
SCALE: 1/8" = 1'-0"

RIGHT ELEVATION
SCALE: 1/8" = 1'-0"

FLORIDA - ORLANDO
SPRING ISLE
Page 7 of 7 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Paloma
2709 SQFT :: 30' x 66'

FORM A FORM B FORM C

FLORIDA - ORLANDO
San Sebastian
Page 9 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' OWNER'S UP PRODUCT
Valencia
2749 SQFT :: 30' x 70'

FORM A FORM B FORM C

FLORIDA - ORLANDO
San Sebastian
Page 10 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio

30' RANCH PRODUCT
Ranch Concept
1660 SQFT :: 30' x 70'

Great Room
Owner's Suite
Dining
BedRm
BedRm
Foyer
Garage

FLORIDA - ORLANDO
San Sebastian
Page 11 of 11 - 1/10/2017

KHovnanian
Companies
Corporate Product Development - WPC Design Studio



<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>BUILDING ELEVATIONS</p>	
SCALE:	N/A	PROJECT:	2017-011	CHECKED:	RW
SHEET:	B-1.0	DATE:	12/17/2017	BY:	
<p>W GROUP LAND DEVELOPMENT & ENGINEERING SERVICES BUSINESS NO. 32108</p>					
<p>NOT FOR CONSTRUCTION</p>					

TREE LEGEND:



OAK



MAGNOLIA



SPECIMEN
MAGNOLIA



RED MAPLE



SLASH PINE



CREPE MYRTLE

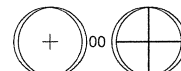


CREPE MYRTLE



RED CEDAR

EXISTING TREES



PROTECT



REMOVE

EXISTING PALMS



RELOCATE

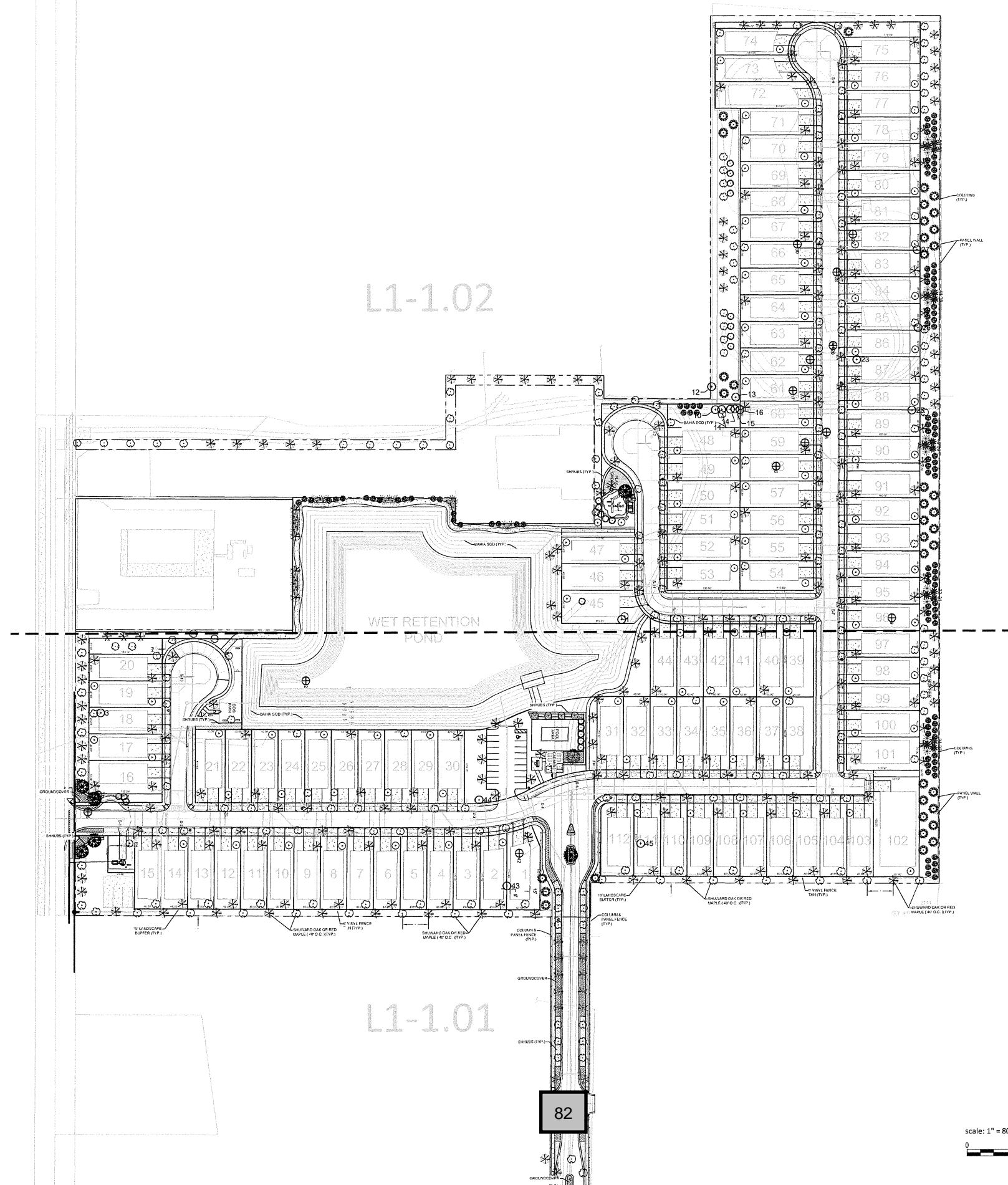


REMOVE

NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION

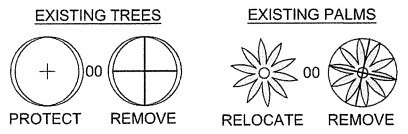
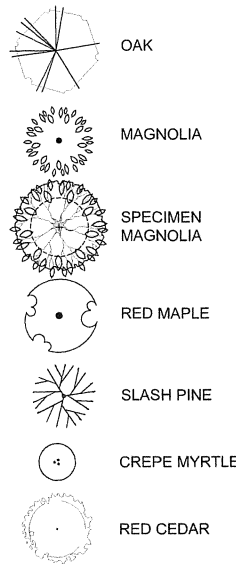
LANDSCAPE NOTES:

1. FINAL LANDSCAPE DRAWINGS WILL BE ISSUED AT THE TIME OF FINAL DEVELOPMENT PLAN AND BUILDING PERMIT SUBMITTAL. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE BO. 2069.
 2. ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS SHOWN IN THE APOPKA MUNICIPAL CODE LANDSCAPE REQUIREMENTS.
 3. ALL PLANT MATERIAL SPECIFIED SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, THE PROJECT MANUAL AND/OR SPECIFICATIONS. PLANT MATERIAL IN SOME CASES MAY EXCEED FLORIDA NO.1 GRADE IN ORDER TO MEET THE MINIMUM REQUIREMENTS FOR THE PROJECT.
 4. ALL LANDSCAPE SHALL BE COVERED 100% BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR SHUT OFF DEVICE.
 5. NO TREES TO BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT.
 6. ALL PALMS AND TREES MUST BE SETBACK 17FT OR MAXIMUM PALM FROND LENGTH PLUS 10FT FROM POWER POLES PER FPL RIGHT TREE / RIGHT PLACE REQUIREMENTS.
 7. LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- * SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS

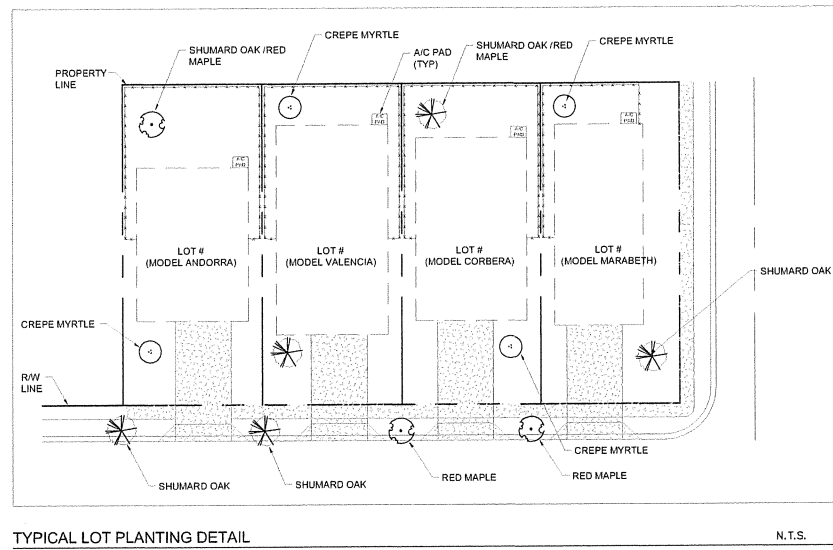


<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE</p>	<p>BY</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>MASTER LANDSCAPE PLAN</p>	
<p>SCALE 1"=80'</p>	<p>DRAWN: DM</p>	<p>DESIGNED: --</p>	<p>CHECKED: RW</p>
<p>PROJECT 2017-011</p>	<p>SHEET L1-1.00</p>	<p>DATE: 2/3/2018</p>	<p>BUSINESS NO. 32108</p>
<p>NOT FOR CONSTRUCTION</p>			

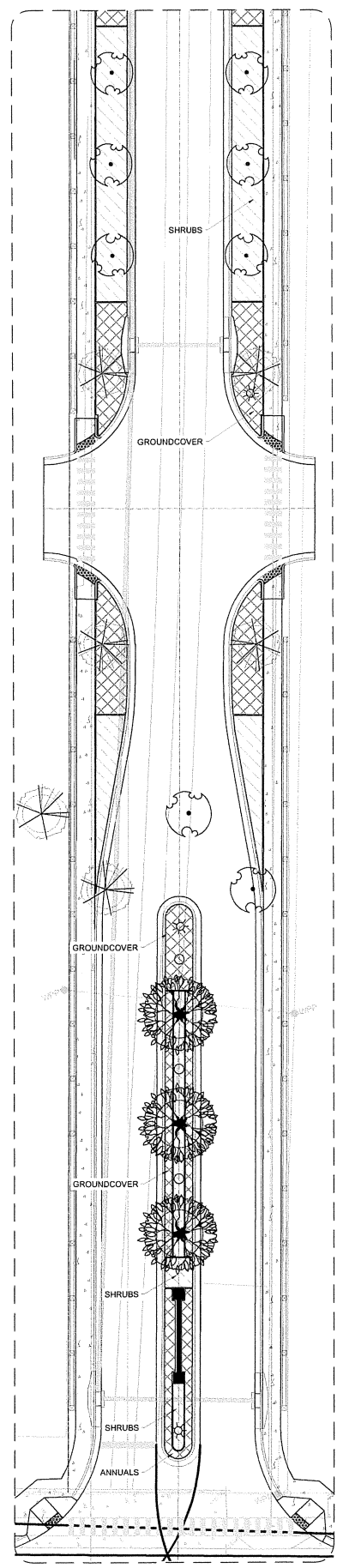
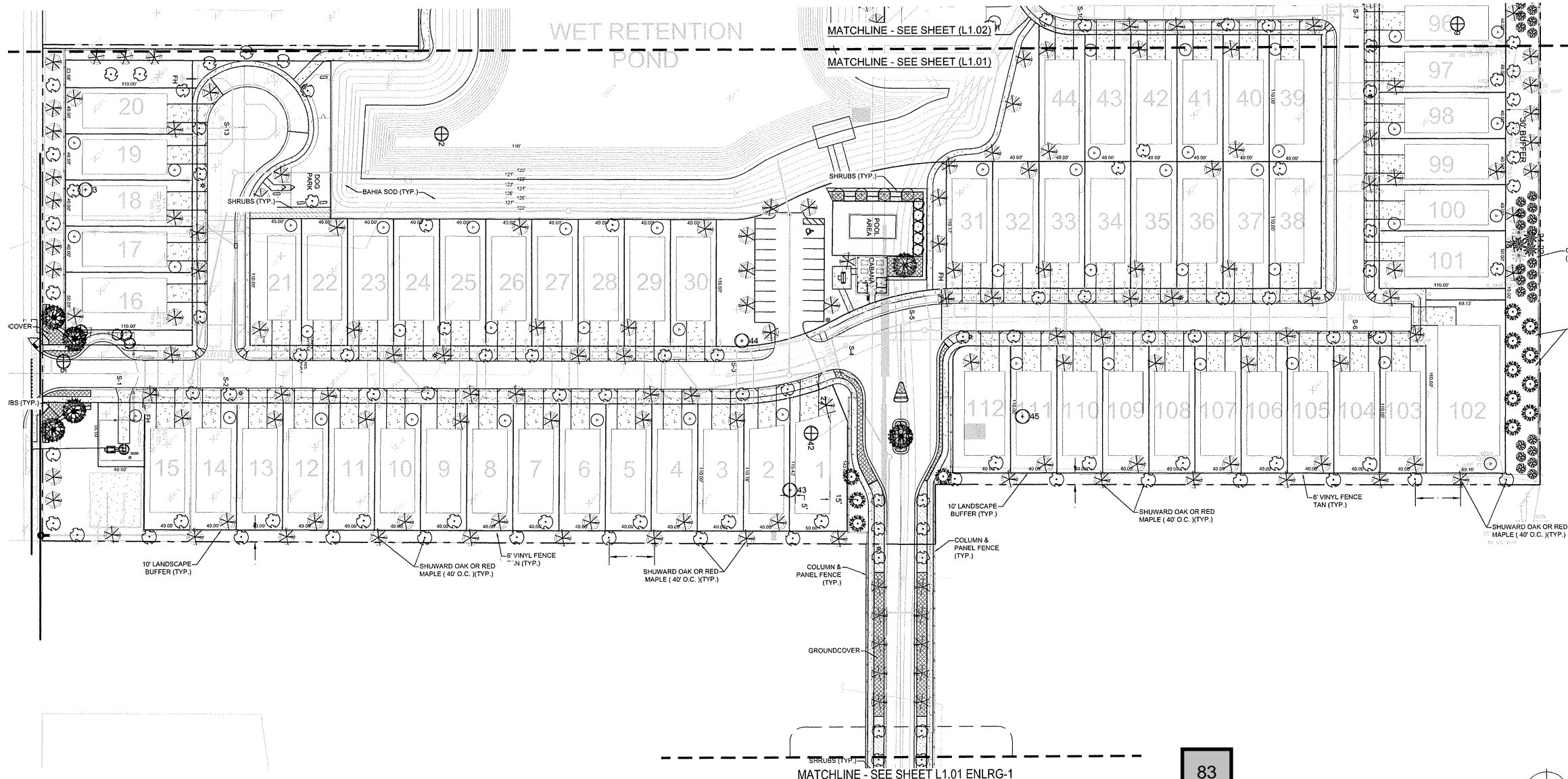
TREE LEGEND:



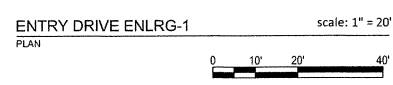
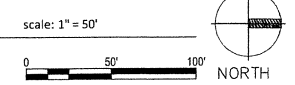
NOTE:
NUMBERS (000) CORRESPOND WITH TREE LIST ON SURVEY. (SEE SHEET L1-1.10) FOR SUPPLEMENTAL INFORMATION



- GENERAL NOTES:**
- DRIVEWAY LOCATIONS MAY BE ADJUSTED
 - 5' FROM PROPERTY LINE TO DRIVEWAY EDGE
 - 40' FROM ROAD CENTERLINE TO DRIVEWAY EDGE
 - NO DRIVEWAY SHALL BE CLOSER THAN 5' TO ANY PROPERTY LINE AND 40' FROM THE CENTERLINE OF ANY INTERSECTION
 - NO FENCES IN FRONT OF BUILDING, FRONT 20' OF SIDE YARDS
 - FENCES CAN BE 42" TO 60" RAIL OR CHAIN LINK (BLACK VINYL COATED OR 6" HIGH VINYL (TAN) FENCE)
 - ALL STREET TREES SHALL HAVE 24" DEEP'S ROOT BARRIERS CENTERED
 - TREE MITIGATION AND FINAL LANDSCAPE PLANS WITH IRRIGATION WILL BE SUBMITTED WITH FINAL DEVELOPMENT PLAN SUBMITTAL














LANDSCAPE PLAN EAST (SEE SHEETS L0-1.00, L1-1.00, L1-2.00 FOR PLANTING LIST, NOTES AND DETAILS)



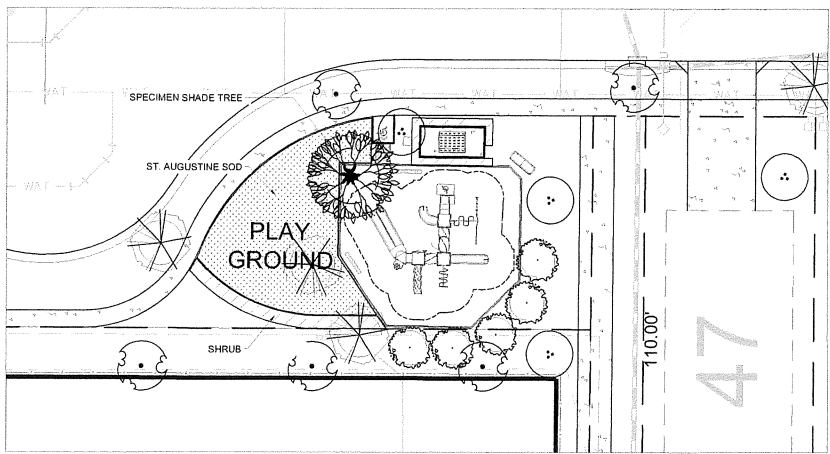
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALAMONTE SPRINGS, FL 32714 (407) 750-3123</p>		<p>DATE: 2/3/2018</p>
<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>		<p>PROJECT: 2017-011</p>
<p>LANDSCAPE PLAN EAST</p>		<p>CHECKED: RW</p>
<p>SCALE: 1"=50'</p>	<p>DRAWN: DM</p>	<p>DESIGNED: DM</p>
<p>SHEET: L1-1.01</p>	<p>DATE: 2/3/2018</p>	<p>CHECKED: RW</p>
<p>BUSINESS NO. 32108</p>		
<p>NOT FOR CONSTRUCTION</p>		

TREE LEGEND:

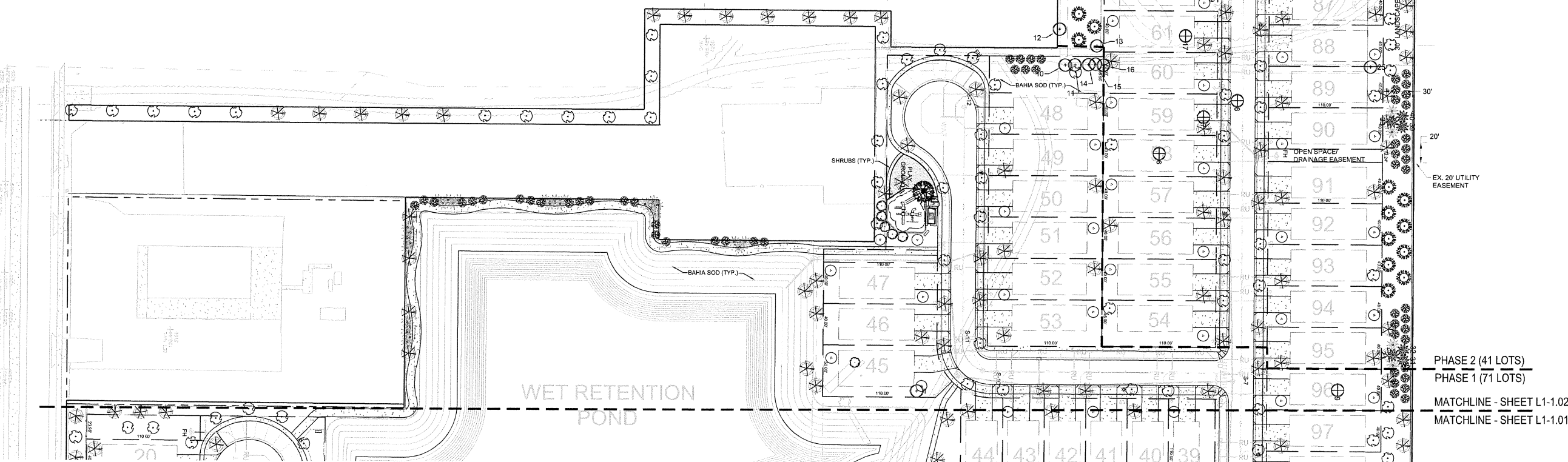
-  OAK
-  MAGNOLIA
-  SPECIMEN MAGNOLIA
-  RED MAPLE
-  SLASH PINE
-  CREPE MYRTLE
-  RED CEDAR

- EXISTING TREES**
-  PROTECT
 -  REMOVE
- EXISTING PALMS**
-  RELOCATE
 -  REMOVE

NOTE:
NUMBERS (000) CORRESPOND
WITH TREE LIST ON SURVEY.
(SEE SHEET L1-1.10) FOR
SUPPLEMENTAL INFORMATION



PLAYGROUND ENLARGEMENT
PLAN
scale: 1" = 20'
0 50 100'
NORTH



PHASE 2 (41 LOTS)
PHASE 1 (71 LOTS)
MATCHLINE - SHEET L1-1.02
MATCHLINE - SHEET L1-1.01

DRAWN: DM		DESIGNED: _____		CHECKED: RW		DATE: 2/3/2018	
SCALE	1"=50'	PROJECT	2017-011	SHEET	L1-1.02		
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		LANDSCAPE PLAN WEST					
WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALAMONTIE SPRINGS, FL 32714 (407) 750-3123				DATE			
				DESCRIPTION			
				REV			
				DATE			
				BY			

BUSINESS NO. 32108
NOT FOR CONSTRUCTION
2/4/18

TREE SURVEY | SAN SEBASTIAN RESERVE, ORANGE COUNTY FL.

TREE #	DISPOSITION	TYPE (SCIENTIFIC)	TYPE (COMMON)	DBH	GENERAL NOTES
1	Protect	<i>Quercus virginiana</i>	Live Oak	24" DBH	Lot 45 Side Yard
2	Remove	<i>Quercus virginiana</i>	Live Oak	15" DBH	In Lake
3	Protect	<i>Quercus virginiana</i>	Live Oak	28" DBH	Lot 18 Back Yard
4	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lester Entrance Tree Rot
5	Remove	<i>Quercus laurifolia</i>	Laurel Oak	38" DBH	Lester Entrance Tree Rot
6	Remove	<i>Acer rubrum</i>	Florida Red Maple	12" DBH	Lot 59
7	Remove	<i>Quercus virginiana</i>	Live Oak	10" DBH	Dead
8	Remove	<i>Quercus virginiana</i>	Live Oak	8" DBH	Lot 96
9	Remove	<i>Quercus virginiana</i>	Live Oak	16" DBH	Lot 96
10	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 Clean and Trim Branch
11	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Adj Lot 60-61 Clean and Trim Branch
12	Protect	<i>Quercus laurifolia</i>	Laurel Oak	15" DBH	Adj Lot 60-61 Clean and Trim Branch
13	Protect	<i>Sabal palmetto</i>	Sabal Palm	-	Adj Lot 60-61 Clean and Trim Fronds
14	Protect	<i>Quercus laurifolia</i>	Laurel Oak	6" DBH	Adj Lot 60-61 Clean and Trim Branch
15	Protect	<i>Quercus laurifolia</i>	Laurel Oak	6" DBH	Adj Lot 60-61 Clean and Trim Branch
16	Protect	<i>Quercus laurifolia</i>	Laurel Oak	8" DBH	Adj Lot 60-61 Clean and Trim Branch
17	Remove	<i>Swietenia mahagoni</i>	Mahogany Tree	15" DBH	Lot 61
18	Relocate	<i>Sabal palmetto</i>	Sabal Palm	30" CT Double	Lot 59 Relocated to Buffer
19	Remove	<i>Quercus laurifolia</i>	Laurel Oak	18" DBH	Lot 62
20	Remove	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	Lot 62
21	Relocate	<i>Livistonia chinensis</i>	Chinese Palm	-	Twins Relocated to Buffer
22	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
23	Protect	<i>Quercus laurifolia</i>	Laurel Oak	34" DBH	Lot 87
24	Relocate	<i>Sabal palmetto</i>	Sabal Palm	15" CT	Lot 88 - Lot 89 Relocated to Buffer
25	Protect	<i>Quercus laurifolia</i>	Laurel Oak	10" DBH	Twins Lot 88 - Lot 89
26	Protect	<i>Quercus laurifolia</i>	Laurel Oak	30" DBH	Lot 85
27	Protect	<i>Quercus laurifolia</i>	Laurel Oak	24" DBH	Lot 82
28	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36" DBH	Road
29	Remove	<i>Quercus laurifolia</i>	Laurel Oak	40" DBH	Lot 82
30	Remove	<i>Quercus laurifolia</i>	Laurel Oak	36" DBH	Lot 66
31	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Lot 67 Relocated to Buffer
32	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Lot 67 Relocated to Buffer
33	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Lot 67 Relocated to Buffer
34	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
35	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
36	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
37	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
38	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
39	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
40	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
41	Relocate	<i>Sabal palmetto</i>	Sabal Palm	-	Relocated to Buffer
42	Remove	<i>Quercus virginiana</i>	Live Oak	48" DBH	Lot 111
43	Protect	<i>Quercus virginiana</i>	Live Oak	43" DBH	Lot 1 - Lot 2
44	Protect	<i>Quercus virginiana</i>	Live Oak	48" DBH	Rec. Entrance Tree in distress
45	Protect	<i>Quercus virginiana</i>	Oak Cluster	12-30" DBH	Lot 111

DEVELOPMENT GUIDELINES | ORANGE COUNTY, FL

Lot	3	Per Unit	Required	Total Required	Provided	Total Provided	Difference
Street (30' on center/25' from corner)							
Street A	1860		62	235	47	176	-59
Street B	520		17		13		
Street C	2160		72		54		
Street D	1100		37		28		
Street E	1400		47		35		
Buffer	length	Required	Width	SF			
South Lester Road	304.9	10	20	6098	11	19	
East, South of Entrance	700	5	10	7000	12	18	
East, North of Entrance	510	5	10	5100	9	13	
West, Lester to Lot 61	1390	5	10	13900	24	44	
South, Lot 61 to Lot 74	570	5	10	5700	10	25	
West	345	5	10	3450	6	9	
Tract 11	430		35	15050	1	25	
North	1305	5	30	39150	23	103	
Primary Entry	190	6			6	96	290
						667	
						690	
						667	
						667+	

Code Requirements

Lot Trees: 3 Trees for Lot

Street Trees: 1 tree per 30', 25' from intersection

Buffer Trees: 3 1/2 inch (dbh) Per 1,000 sf (based on required buffer)

Trees are 2 1/2 inch BDH/8" Ht. Planting Mature at 25'

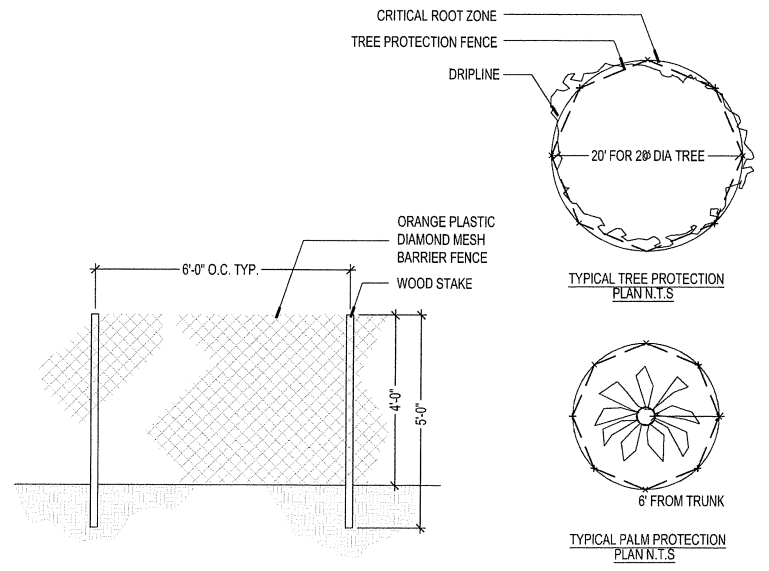
- NOTES:**
- FINAL LANDSCAPE DRAWINGS WILL BE ISSUED AT THE TIME OF FINAL DEVELOPMENT PLAN AND BUILDING PERMIT SUBMITTAL. THE PLANS SHALL BE DESIGNED IN ACCORDANCE WITH CITY ORDINANCE BO. 2069.
 - ALL LANDSCAPE AND SPECIFICATIONS SHALL MEET OR EXCEED THE MINIMUM REQUIREMENTS AS SHOWN IN THE APOKA MUNICIPAL CODE LANDSCAPE REQUIREMENTS.
 - ALL PLANT MATERIAL SPECIFIED SHALL BE IN FULL AND STRICT ACCORDANCE TO FLORIDA NO. 1 GRADE, ACCORDING TO THE "GRADES AND STANDARDS FOR NURSERY PLANTS", PUBLISHED BY THE FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, THE PROJECT MANUAL AND/OR SPECIFICATIONS. PLANT MATERIAL IN SOME CASES MAY EXCEED FLORIDA NO. 1 GRADE IN ORDER TO MEET THE MINIMUM REQUIREMENTS FOR THE PROJECT.
 - ALL LANDSCAPE SHALL BE COVERED 100% BY AN AUTOMATIC IRRIGATION SYSTEM WITH A RAIN SENSOR SHUT OFF DEVICE.
 - NO TREES TO BE REMOVED OR RELOCATED WITHOUT A TREE REMOVAL PERMIT.
 - ALL PALMS AND TREES MUST BE SETBACK 17FT OR MAXIMUM PALM FROND LENGTH PLUS 10FT FROM POWER POLES PER FPL RIGHT TREE / RIGHT PLACE REQUIREMENTS.
 - LANDSCAPE TO BE INSTALLED OUTSIDE OF SITE TRIANGLES.
- * SEE SHEETS (L0-1.00, L1-1.00, L1-2.00) FOR PLANTING LIST, NOTES AND DETAILS

PLANTING SCHEDULE

*NOTE: Pinus elliottii, Juniperus silicicola, Sabal palmetto utilize 3:1 planting requirement value

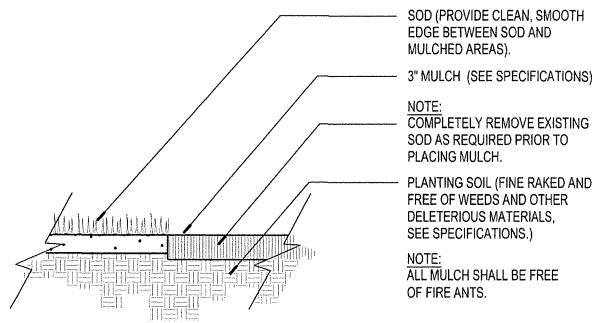
TREES	CODE	QTY	BOTANIAL NAME	COMMON NAME	MIN CONT	SIZE	DBH	
	QUS	272	<i>Quercus shumardii</i>	Shumard Oak	45 Gal.	10'-12' Ht. - 5'-6' Sprd.	2.5in	
	MAG-5	9	<i>Magnolia grandiflora</i>	Southern Magnolia - Specimen	200 Gal.	9'-12' Ht. - 10' Sprd.	3.5in	
	MAG-5	38	<i>Magnolia grandiflora</i>	Southern Magnolia	100 Gal.	10' Ht. - 5' Sprd.	2.5in	
	JUS	22	<i>Juniperus silicicola</i>	Southern Red Cedar Tree	45 Gal.	8'-10' Ht. - 4'-5' Sprd.	2.5in	
	ACR	190	<i>Acer rubrum</i>	Florida Red Maple	45 Gal.	12'-14" Ht. - 6'-8' Sprd.	2.5in	
	PIE	105	<i>Pinus elliottii</i>	Slash Pine	45 Gal.	12'-14' Ht. - 5' Sprd.	2.5in	
	LAS	106	<i>Lagerstroemia spp.</i>	Crape Myrtle	30 Gal.	10'-14' Ht. Standard	2.5in	
	PALMS	CODE	QTY	BOTANIAL NAME	COMMON NAME	MIN CONT	SIZE	DBH
	LIX	1		<i>Livistonia chinensis</i>	Chinese Fan Palm		Existing	
	SPX	38		<i>Sabal palmetto</i>	Sabal Palm	Field Grown	8' - 20' Ht. Grade #1	
	SHRUBS	CODE	QTY	BOTANIAL NAME	COMMON NAME	MIN CONT	SIZE	NOTES
	ILV			<i>Ilex Vomitoria</i>	Yaupon Holly	5 gal.	36" Ht.	30"o.c.
	LOC			<i>Loropetalum chinense</i>	Chinese fringe flower	5 gal.	36" Ht.	30"o.c.
	VIS			<i>Viburnum suspensum</i>	Mapleleaf	5 gal.	36" Ht.	30"o.c.
	JAS			<i>Jasminum simplicifolium</i>	Wax Jasmine	5 gal.	36" Ht.	30"o.c.
	GROUND COVER	CODE	QTY	BOTANIAL NAME	COMMON NAME	MIN CONT	SIZE	NOTES
	ANN			Annuals	Annual Mix	FLAT	CONTRACTOR TO VERIFY	
	PAN			<i>Paspalum notatum</i>	Bahia Sod		CONTRACTOR TO VERIFY	weed free
	STS			<i>Stenotaphrum secundatum</i>	St. Augustine Sod		CONTRACTOR TO VERIFY	weed free
	ASI			<i>Asiatic jamine</i>	Asian Jasmine		CONTRACTOR TO VERIFY	weed free
	ARG			<i>Arachis glabrata</i>	Perennial Peanut		CONTRACTOR TO VERIFY	weed free

NOTE: ALL PLANT MATERIAL TO MEET OR EXCEED THE ORANGE COUNTY FLORIDA MUNICIPAL CODE REQUIREMENTS. FINAL LANDSCAPE PLANS AND QUANTITIES TO BE SUBMITTED AT TIME OF FINAL DEVELOPMENT PLAN

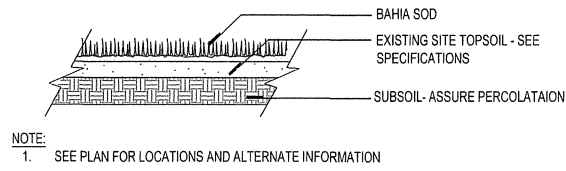


TREE PROTECTION FENCE
SECTION & PLAN
SCALE: 85

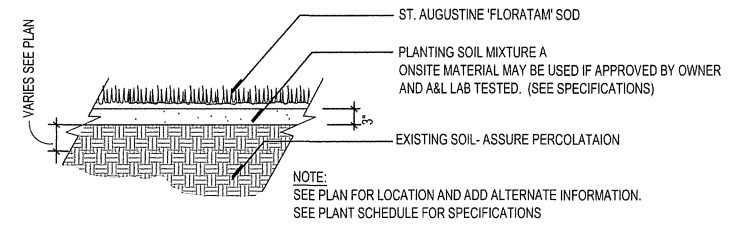
SCALE	PROJECT	SHEET	DATE	DESCRIPTION
2017-011	2017-011	L1-1.10	2/13/2018	
<p>WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTA DRIVE ALAMONTI, FLORIDA 32714 (407) 750-3123</p>			<p>SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA</p>	
<p>PLANTING LIST AND REQUIREMENTS</p>			<p>BUSINESS NO. 32108</p>	
<p>NOT FOR CONSTRUCTION</p>				



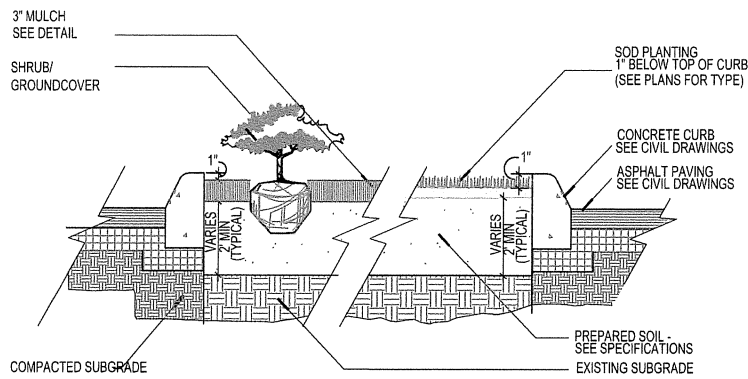
MULCH
SECTION
SCALE: 1"= 1'-0"



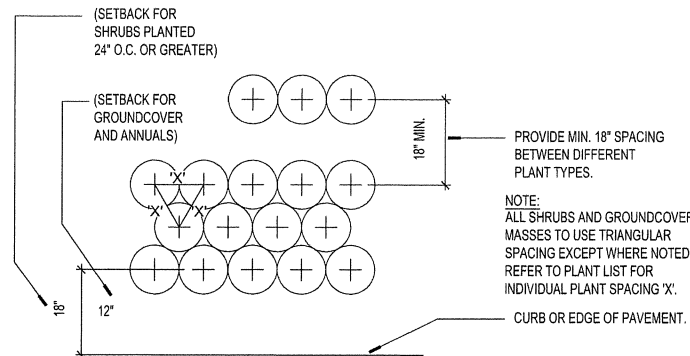
BAHIA SOD
SECTION
SCALE: 1"= 1 1/2'-0"



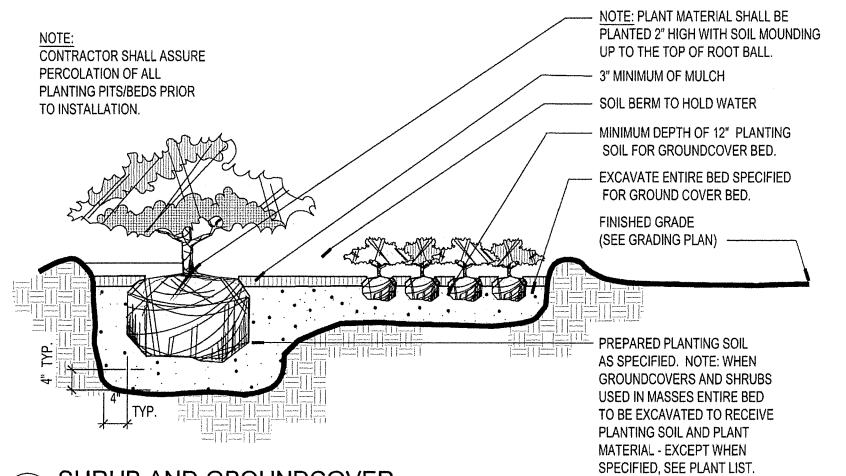
ST. AUGUSTINE SOD
SECTION
SCALE: 1"= 1 1/2'-0"



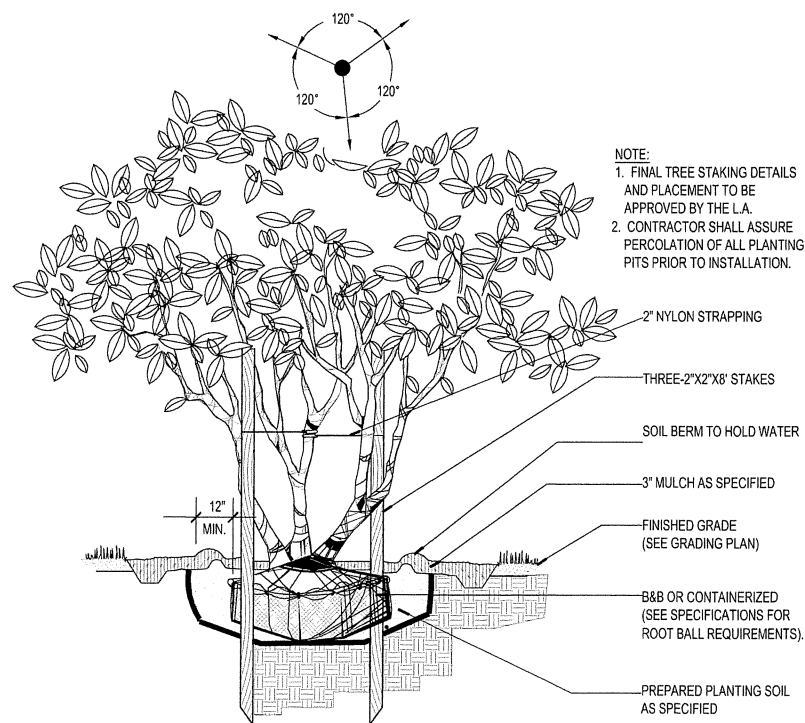
SOD/MULCH AT CURB
SECTION
SCALE: 1"= 1'-0"



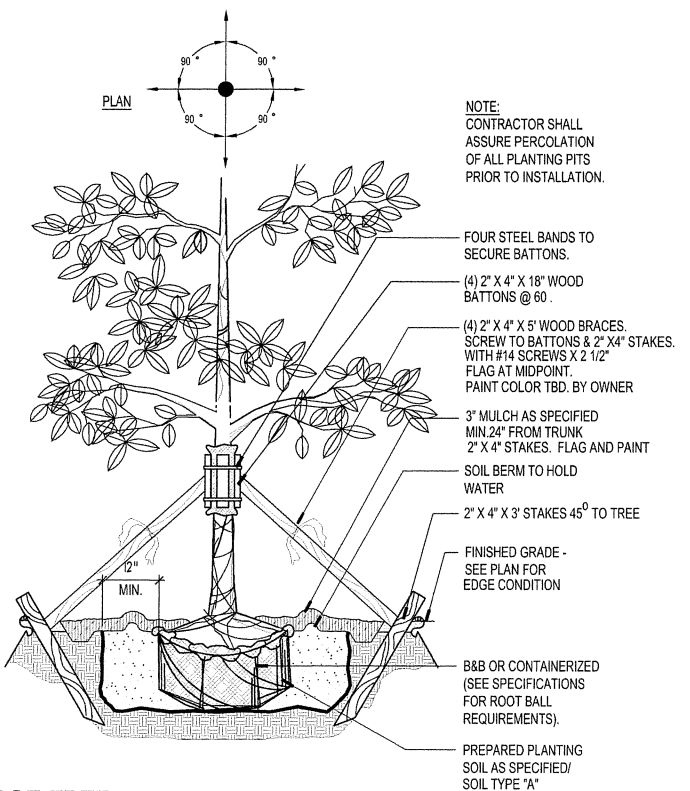
TYPICAL PLANT SPACING
PLAN
SCALE: 1"= 1'-0"



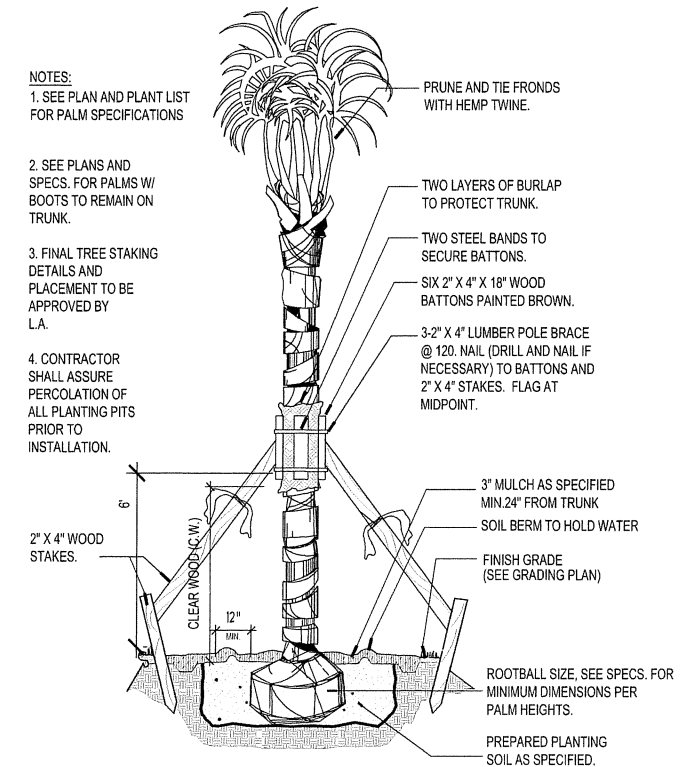
SHRUB AND GROUNDCOVER
SECTION
SCALE: 1"= 1'-0"



MULTI-TRUNK TREE
SECTION
SCALE: 1"= 1'-0"



LARGE TREE
SECTION
SCALE: 1"= 1'-0"

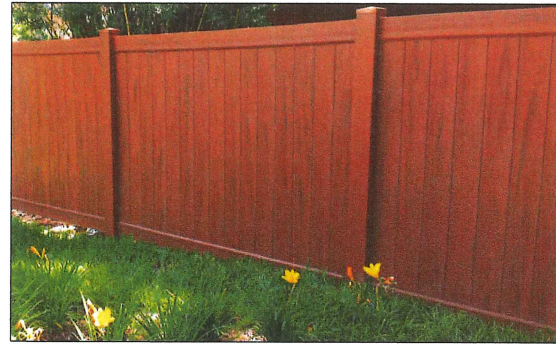


PALM
SECTION
SCALE: 1"= 1'-0"

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTA MONTE SPRINGS, FL 32714 (407) 750-3123		DATE	BY
SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA		SCALE	DESCRIPTION
LANDSCAPE DETAILS		PROJECT	2017-011
		CHECKED	DATE: 2/13/2018
		SHEET	L1-1.20
		BUSINESS NO.	32108
		NOT FOR CONSTRUCTION	



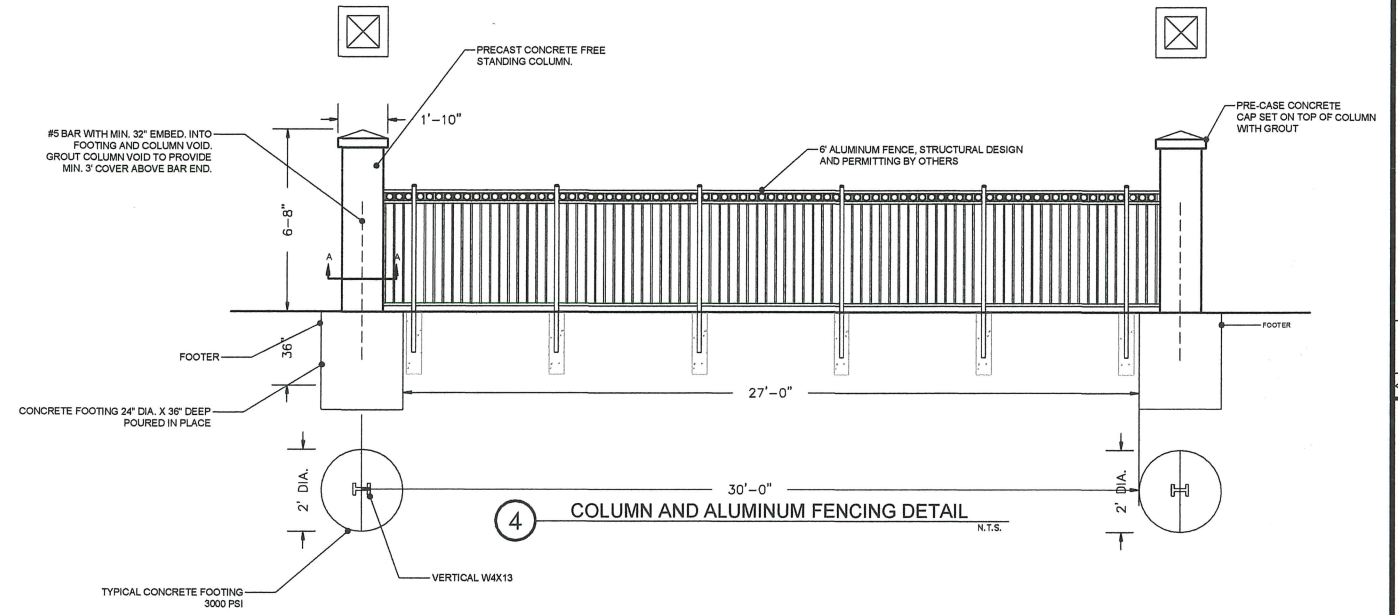
1 STACKED STONE RESIDENTIAL DETAIL



2 TYPICAL 6' PVC FENCE



3 PLAYGROUND



5 COLUMN AND ALUMINUM FENCING DETAIL

C:\Users\Dennis_Murray\Dropbox\Rick_Wohlforth\San_Sebastian\DWG\2017-011-CS-General_Details.dwg Plotted: 11/2/2017 By: dennis_murray

WOHLFARTH CONSULTING GROUP LLC ENGINEERS & PLANNERS 246 N. WESTMONTE DRIVE ALTAMONTE SPRINGS, FL 32714 (407) 750-3123		SAN SEBASTIAN RESERVE ORANGE COUNTY, FLORIDA GENERAL DETAILS	SCALE: N/A PROJECT: 2017-011 SHEET: C-5.0	DRAWN: DM DESIGNED: --- CHECKED: RW DATE: 10/1/2017	DESCRIPTION DATE REV.
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NOT FOR CONSTRUCTION
11/2/17



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Land Use Report
 Vicinity Map
 Future Land Use Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Uses
 Ordinance No. 2604

SUBJECT: ORDINANCE NO. 2604 – COMPREHENSIVE PLAN - LARGE SCALE - FUTURE LAND USE AMENDMENT – TGINF LLC

REQUEST: SECOND READING OF ORDINANCE NO. 2604 – COMPREHENSIVE PLAN - LARGE SCALE – FUTURE LAND USE AMENDMENT- TGINF LLC; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO MEDIUM LOW DENSITY RESIDENTIAL.

SUMMARY:

OWNERS: TGINF LLC

APPLICANT: Old Dixie 15 LLC (Allan Goldberg)

LOCATION: 501 Old Dixie Highway

PARCEL ID #(S): 09-21-28-0000-00-006

EXISTING USE: Vacant

DEVELOPMENT POTENTIAL: Townhomes (max 102 residential units)

CURRENT ZONING: C-1 Commercial

PROPOSED ZONING: R-3 Residential

MAXIMUM ALLOWABLE DEVELOPMENT UNDER FLUM/ZONING: EXISTING: Commercial floor area -- 149,193 sq. ft. (max.)
 PROPOSED: 102 townhomes (max.)

TRACT SIZE: +/- 15.8 acres\13.7 Developable

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The applicant intends to use the subject properties for a residential community with townhomes. Presently the subject property is assigned a Commercial future land use designation and a C-1 commercial zoning.

The proposed Large Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies.

A request to assign a Future Land Use Designation of Medium Low Density is as compatible or more compatible with the character of the existing land use to the west, north, and east. A public elementary school (Apopka Elementary) is situated to the west, and single family residential to the east and north. Commercial retail occurs to the south across Old Dixie Highway.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the Residential Medium Low Future Land Use Designation.

SCHOOL CAPACITY REPORT: School capacity determination must be completed with Orange County Public Schools prior to the adoption hearing for this Future Land Use Amendment application.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify before any public hearing or advisory board. The City properly notified Orange County on September 25, 2017.

PUBLIC HEARING SCHEDULE:

October 10, 2017 - Planning Commission (5:30 pm)

November 1, 2017 - City Council (1:30 pm) - 1st Reading & Transmittal

DULY ADVERTISED:

September 29, 2017 – Public Notice and Notification

February 9, 2018 – ¼ Page w/Map Ordinance Heading Ad

RECOMMENDATION ACTION:

The **Development Review Committee** found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; recommended approval of the future land use amendment from Commercial to Residential Medium Low Density; and recommended transmittal to the Florida Department of Economic Opportunity for the property owned by TGNIF LLC.

The **Planning Commission**, at its meeting on October 10, 2017, unanimously found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding area; recommended approval of the future land use amendment from Commercial to Residential Medium Low Density; and recommended transmittal to the Florida Department of Economic Opportunity for the property owned by TGNIF LLC.

The **City Council**, at its meeting on November 1, 2017 accepted the First Reading of Ordinance 2604 and authorized transmittal to the Florida Department of Economic Opportunity.

City Council Second Reading: Adopt Ordinance 2604.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low Density (0-5 du/ac)	R-2	Single family homes; Clayton Estates
East (County)	“County” Low Medium Density Residential	“County” R-1	Single family homes
South (City and County)	Commercial	C-1 & C-2	Used car lots, vacant commercial
West (City and County)	“City” Institutional \Public and “County”	“City” PO\I and “County” R-2	Apopka Elementary School\single family homes

II. LAND USE ANALYSIS

The applicant intends to develop the property as townhome community. Predominant existing land uses and assigned zoning in the abutting and surrounding area are institutional, single family residential and commercial retail and commercial automotive.

North: Abutting the subject property to the north is the Clayton Estates single-family residential community. Typical lots therein are 70 feet wide and 7,700 sq. ft.

West: Apopka Elementary School borders to the east and a few single family homes at the southwest corner.

East: To the east the property is currently vacant single family lots and existing homes on 50 foot wide typical lots. An unpaved public right of-way runs along the western property line – North Bradshaw Road.

South: Existing commercial businesses and vacant commercial are currently present. However, redevelopment of this commercial area is anticipated to occur with new commercial projects currently under review.

The proposed future land use designation of Medium Low Density Residential consistent with the surrounding future land use designations and anticipated future development in the surrounding area. Commercial and office development is anticipated to occur to the south. The proposed townhomes are a short walking distance to Apopka Elementary School for school-age children residing at the subject property in the future.

Therefore, staff supports the proposed future land use designation.

Other Information:

Wekiva River Protection Area: No

Area of Critical State Concern: No

DRI / FQD: No

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there is a potential karst feature on this property.

Analysis of the character of the Property: The property has access to Old Dixie Highway. A pond/wetland occurs on approximately 2.5 acres of the site. Wetland and upland buffer boundaries must be evaluated and identified as part of any development plan applications. Additional soil analysis may be necessary because of the potential presences of karst features at the subject site.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the subject site is Residential Medium Low (0 – 7.5 du/ac) and currently has a Commercial. A change to a residential land use of Medium Low Density will generate an estimated population increase up to 271 persons. Based on the housing element of the City's Comprehensive Plan, this amendment will increase the City's future population but a housing supply is needed to meet the growing population.

CALCULATIONS:

ADOPTED: Medium Low Density (7.5 du/ac) 102 Units x 2.659 p/h = 271 persons

EXISTING: Commercial – not applicable

PROPOSED: Medium Low Residential): 7.5 du/ac x 13.7 ac = max 102 units x 2.659 = 271 person

Net Increase: + 271 persons

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan. The amendment will allow for additional housing to accommodate anticipated population growth projected by the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments ten (10) acres or more in size. This site is greater than ten acres. A habitat study will be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan. Access to the site occurs from Old Dixie Highway.

Potable Water, Reclaimed Water & Sanitary Sewer Analysis: The subject property is located within the City of Apopka service area for potable water, reclaimed water and sanitary service.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 100 GPD/Capita;
100 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: City of Apopka ; 100
GPD/Capita;
100 GPD/Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 300 GPD
3. Projected total demand under proposed designation: 2,550 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 100 GPD/Capita
6. Projected LOS under proposed designation: 5.1 GPD/Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment: None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 1.8 lbs./person/day
4. Projected LOS under proposed designation: 4.5 lbs./day/1000 sf
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 25 year - 96 hour design storm
3. Projected LOS under proposed designation: 25 year - 96 hour design storm
4. Improvement/expansion: On-site retention/detention pond

Recreation - Not applicable.

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



TGNIF LLC, Property Owner
+/- 15.8 acres\13.7 Developable
Proposed Large Scale Future Land Use Amendment:
From: Commercial (.025 FAR max)
To: Medium Low Density (0-7.5 du/ac)
Parcel ID #: 09-21-28-0000-00-006

VICINITY MAP



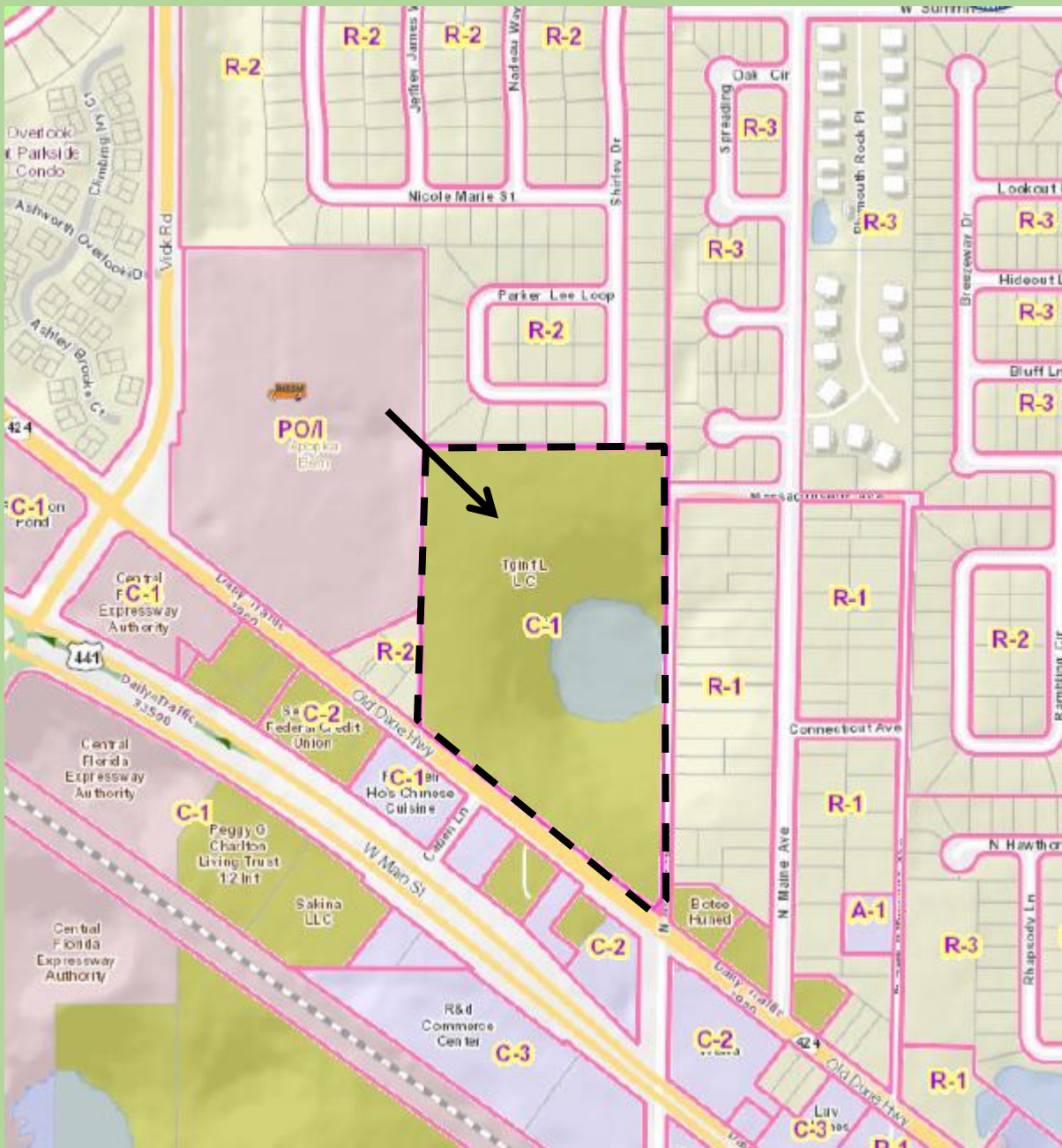


FUTURE LAND USE MAP



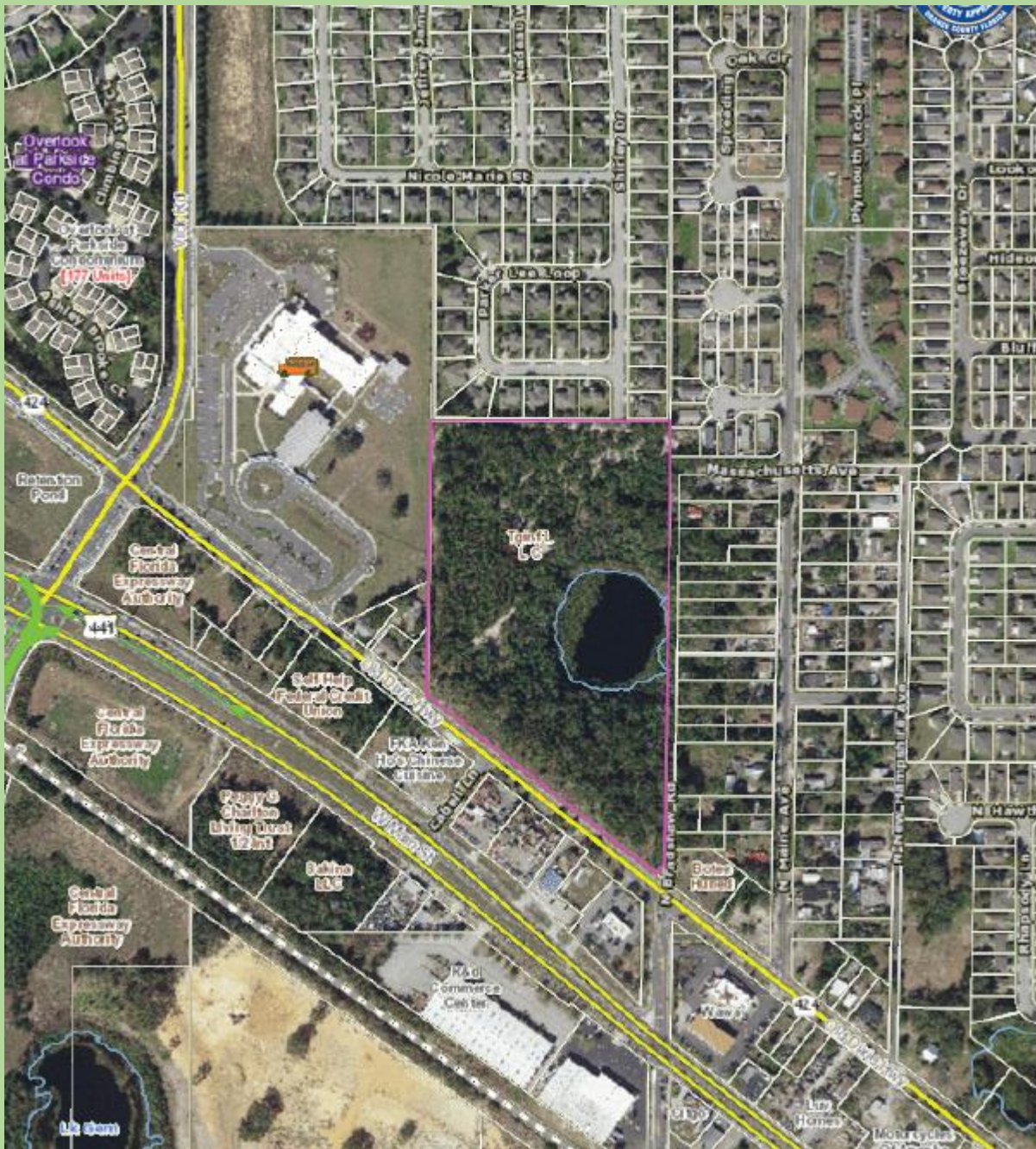


ADJACENT ZONING





ADJACENT USES AND EXISTING USES



ORDINANCE NO. 2604

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM COMMERCIAL TO MEDIUM LOW DENSITY RESIDENTIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY AND WEST OF NORTH MAINE AVENUE, COMPRISING 15.73 ACRES, MORE OR LESS AND OWNED BY TGNIF LLC; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka, Florida, on October 2, 1991 adopted Ordinance No. 653 which adopted the Comprehensive Plan for the City of Apopka; and

WHEREAS, the City of Apopka has subsequently amended the Comprehensive Plan for the City of Apopka, most recently through Ordinance No. 2538; and

WHEREAS, the City of Apopka's Local Planning Agency and the City Council have conducted the prerequisite advertised public hearings, as per Chapter 163, Florida Statutes, relative to the transmittal and adoption of this ordinance and the requirements for amendment to the Comprehensive Plan.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Apopka, Florida, as follows:

SECTION I: The City of Apopka hereby amends the Future Land Use Element of the adopted Comprehensive Plan as follows:

The Future Land Use Map is hereby amended for the property identified in Exhibit "A" of this Ordinance, and incorporated herein by reference.

SECTION II: This Ordinance shall become effective following adoption and upon issuance by the Department of Economic Opportunity or the Administration Commission, as may be applicable, a final order finding the amendment to be in compliance in accordance with Chapter 163.3184.

SECTION III: If any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force, or effect of any other section or portion of a section or subsection or part of this ordinance. A development plan application will not be approved by the City until all school capacity enhancement requirements have been approved by Orange County Public Schools.

SECTION IV: That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

ORDINANCE NO. 2604
PAGE 2

SECTION V: This Ordinance shall become effective upon issuance of a final order by the Florida Department of Economic Opportunity finding the plan amendment in compliance in accordance with s.163.3184 (2)(a), Florida Statute.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this 21st day of February, 2018.

READ FIRST TIME: November 1, 2017

READ SECOND TIME
AND ADOPTED: February 21, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

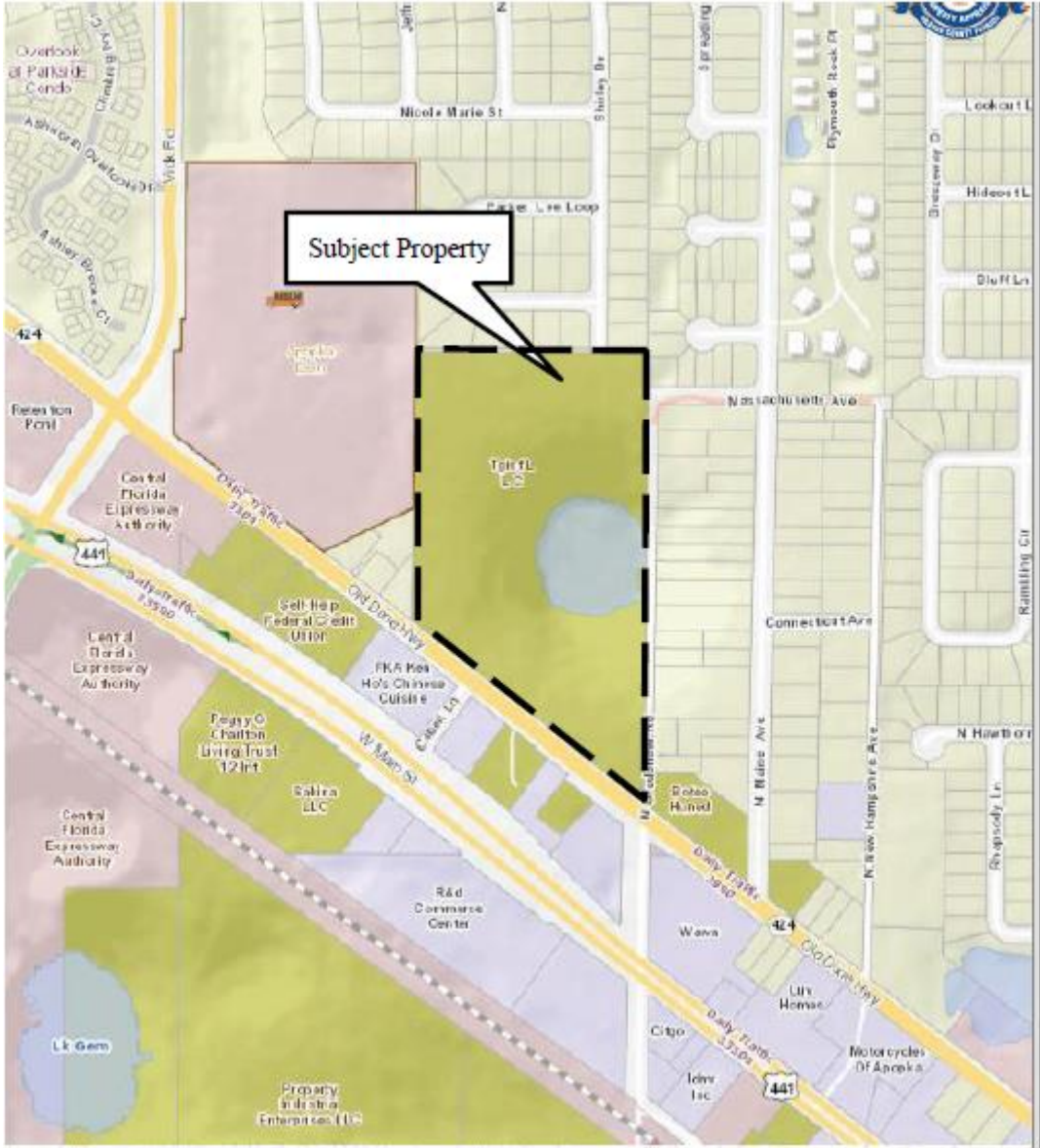
APPROVED AS TO FORM:

Cliff B. Shepard, City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: September 29, 2017; December 26, 2017;
March 9, 2018

EXHIBIT "A"

TGNIF LLC, Property Owners
15.73 +/- Acres
Proposed Large Scale Future Land Use Amendment
From: Commercial
To: Residential Medium Low Density (0 – 7.5 du/lac)
Parcel ID #: 09-21-28-0000-00-006





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Ordinance No. 2628

SUBJECT: ORDINANCE NO. 2628 – CHANGE OF ZONING – TGINF, LLC

REQUEST: FIRST READING OF ORDINANCE NO. 2628 – CHANGE OF ZONING – TGINF, LLC - FROM C-1 (RETAIL COMMERCIAL) TO R-3 (MULTI-FAMILY RESIDENTIAL); AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #S: 09-21-28-0000-00-006)

SUMMARY:

OWNER/APPLICANT: TGINF, LLC
 LOCATION: 501 Old Dixie Highway
 EXISTING USE: Woodlands
 FUTURE LAND USE: Residential Medium Low (0-7.5 Dwelling Units per Acre)
 CURRENT ZONING: C-1 Retail Commercial District
 PROPOSED DEVELOPMENT: Townhome Subdivision
 TRACT SIZE: 15.7 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT: 171,294 sq. ft. Commercial Use
 PROPOSED: 117 Dwelling Units (92 proposed on Preliminary Development Plan)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The subject parcel was annexed into the City of Apopka on December 17, 2003 through the adoption of Ordinance 1619.

A request to assign a change of zoning to R-3 (Residential Multiple-Family District) is compatible with the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The proposed townhome subdivision will act as a transitional use between the commercial properties on Old Dixie Highway and West Orange Blossom Trail and the single family residential subdivision to the north. The property owner is requesting the R-3 zoning classification for the development of a proposed townhome subdivision. This use is consistent with the proposed Residential Medium Low Future Land Use Designation. The proposal to rezone the property to R-3 (Residential Multiple-Family District) is compatible with the general character of the surrounding zoning and uses.

The change of zoning application covers approximately 15.73 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Residential Medium Low (0-7.5 d/u per acre) Future Land Use designation and with the proposed R-3 zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: A capacity enhancement agreement and/or school mitigation agreement with OCPS or a letter exempting the project from school capacity enhancement is required prior to submittal of a final development plan.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:

February 13, 2018 – Planning Commission (5:30 pm)
March 7, 2018 - City Council (1:30 pm) - 1st Reading
March 21, 2018 – City Council (7:00 pm) - 2nd Reading

DULY ADVERTISED:

December 26, 2017 – Public Notice and Notification
March 9, 2018 – Ordinance Heading & ¼ Page w/Map Ad

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan. The Development Review Committee recommends adoption of the change in zoning from C-1 (Commercial) to R-3 (Residential Multiple Family), subject to the adoption of the associated large scale future land use amendment, for the property owned by TGINF, LLC.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; and unanimously recommended a change of zoning from C-1 (Commercial) to R-3 (Residential Multiple Family), for property owned by TGINF, LLC, subject to the adoption of the associated large scale future land use amendment.

Accept the First Reading of Ordinance No. 2628 and Hold it Over for Second Reading and Adoption on March 7, 2018.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

Direction	Future Land Use	Zoning	Present Use
North (City)	Residential Low	R-2	Single Family Subdivision
East (City and County)	Res. Medium Low & Res. Low Medium	R-1	Single Family Homes
South (City and County)	Commercial	C-1 & C-2	Commercial & Vacant Properties
West (City and County)	Institutional/Public Use & Institutional	PO/I & R-2	Apopka Elementary School & Single Family Homes

LAND USE & TRAFFIC COMPATIBILITY:

The subject property fronts and is accessed by a local roadway (Old Dixie Highway) and has access to a stub-out on Shirley Drive to the north. The proposed R-3 (Multiple Family Residential) zoning district is consistent and compatible with the adjacent zoning classifications and uses within the surrounding area.

COMPREHENSIVE PLAN COMPLIANCE:

The proposed R-3 zoning is consistent with the City’s Residential Medium Low (0-7.5 du/ac) Future Land Use designation and with the character of the surrounding area and future proposed development. The R-3 zoning classification is one of the acceptable zoning categories allowed within the Residential Medium Low Land Use category. Development Plans shall not exceed the density allowed in the adopted Future Land Use Designation.

R-3 DISTRICT REQUIREMENTS:

District		Min. Site Area.	Min. Lot Width (Ft)	Front (Ft)	Side (Ft)	Rear (Ft)	Corner (Ft)	Min. Living (Sq. Ft.)
R-3.	Residential							
	Single-Family	7,500 sf	70	25	*7.5	20	25	1,350
	Duplex	15,000 sf	140	25	10	20	25	1,350
	Multiple-Family							
	Rental/Apartments	1 AC	None	“	”	“	25	750
	Fee Simple, Condo or Townhouse	1 AC	None	“	”	“	25	1,350

** Distance Between Buildings: 50’ front to front and 50’ rear to rear

Based on the above zoning standards, the subject parcels comply with code requirements for the R-3 district.

BUFFERYARD REQUIREMENTS:

1. Areas adjacent to all road rights-of-way shall provide a minimum 25-foot landscaped bufferyard.
2. Areas adjacent to agricultural uses or districts shall provide a minimum of ten feet abutting the property line with landscaping and a six-foot-high masonry wall.

3. Areas adjacent to residential uses or districts shall provide a six-foot-high masonry wall within a minimum of 50-foot landscaped bufferyard.
4. Industrial uses adjacent to nonresidential, nonindustrial uses or districts shall provide one of the following:
 - a. A minimum of 25-feet abutting the property with landscaping and an earth berm, measuring three feet with a 3:1 slope; or
 - b. A minimum six-foot-high masonry wall within a minimum of ten-foot landscaped bufferyard.

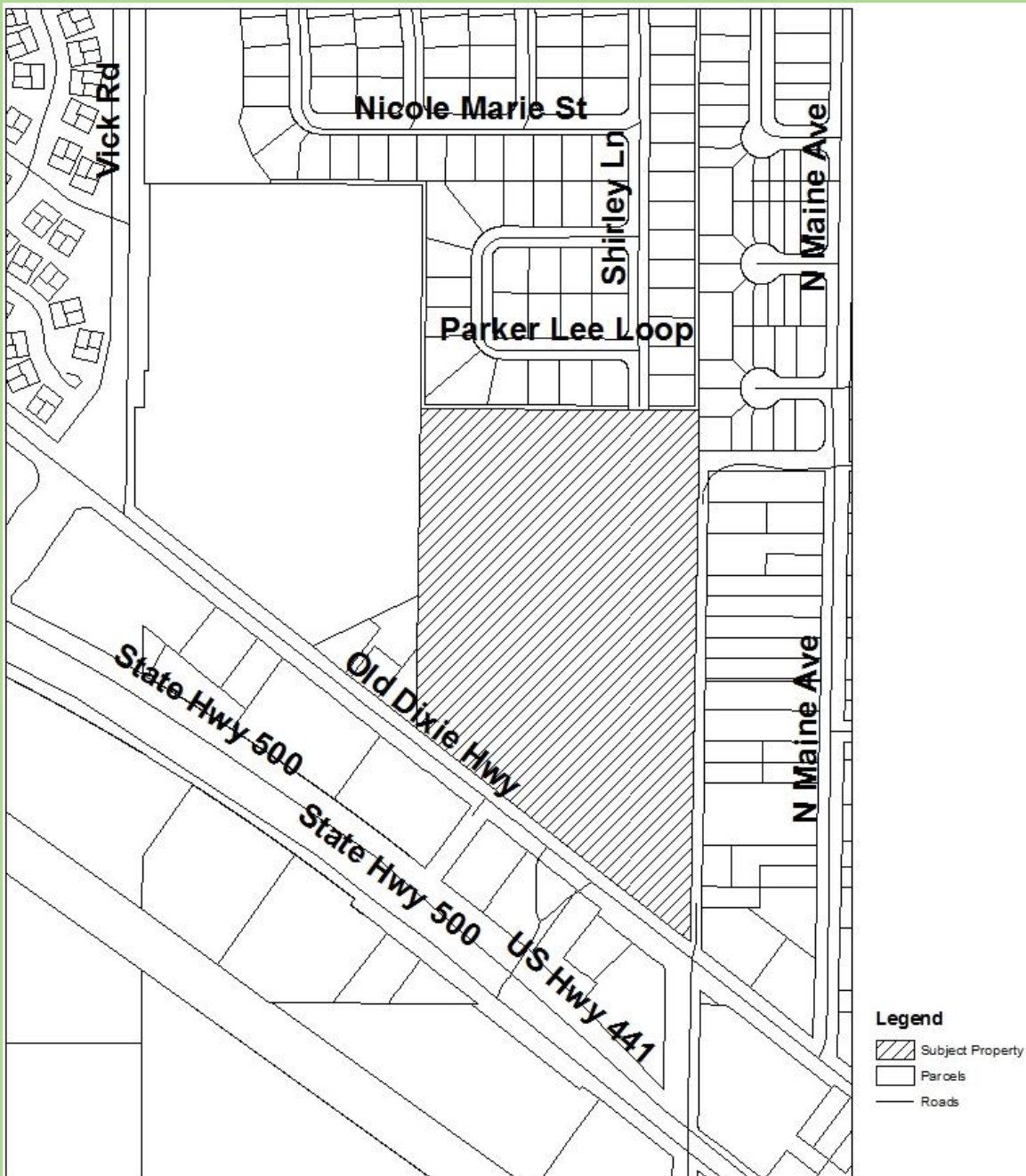
ALLOWABLE USES:

1. Any use permitted in the R-2 zoning district.
2. Multifamily dwellings, including, but not limited to, triplex, quadruplex, townhouses, condominium, and apartment complexes.



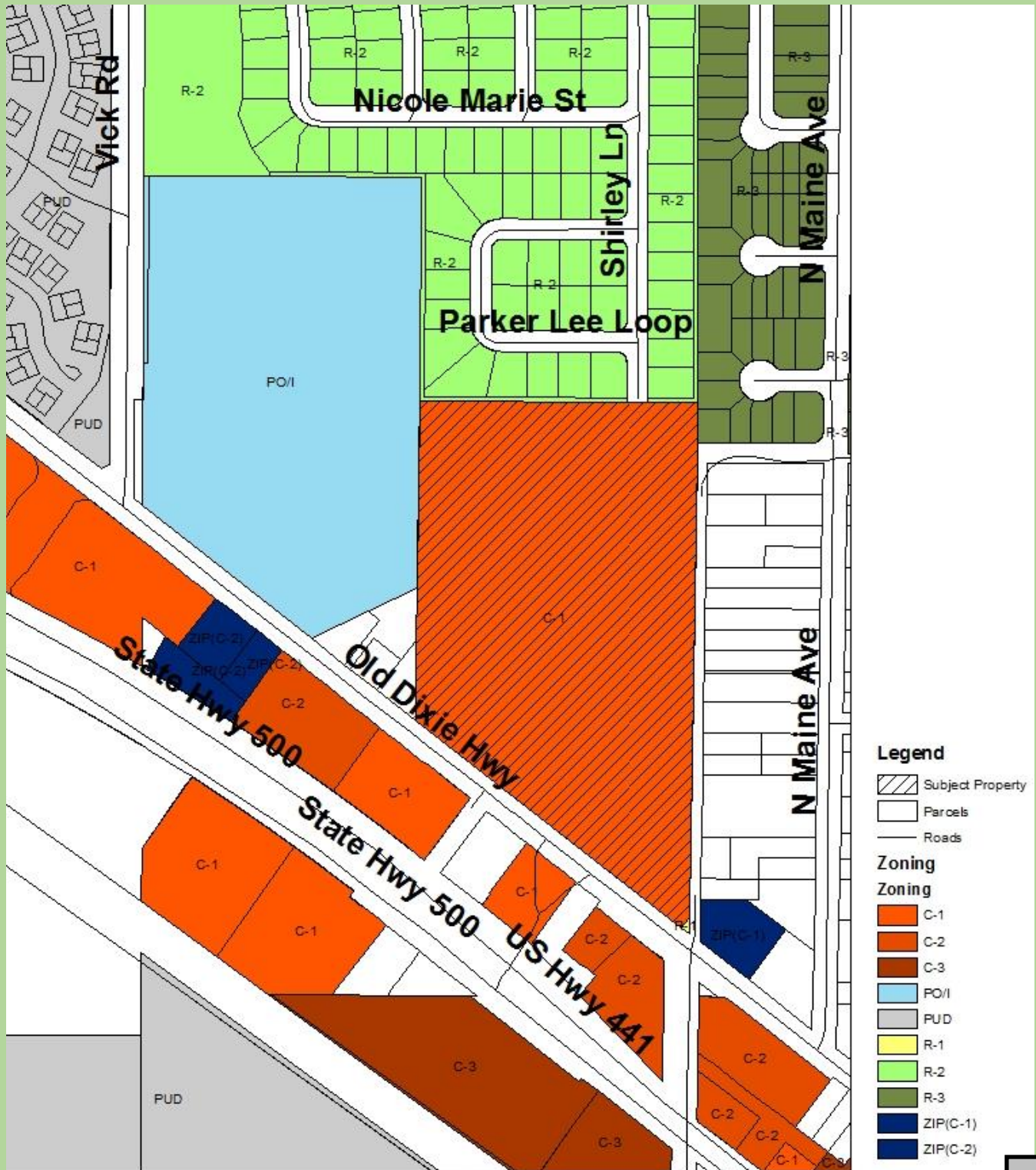
TGINF, LLC
Property Owner
15.73 +/- Acres
Proposed Large Scale Future Land Use Amendment:
From: Commercial
To: Residential Medium Low (0-7.5 du/ac)
Proposed Change of Zoning:
From: C-1 (Commercial)
To: R-3 (Residential Multiple Family)
Parcel ID #s: 09-21-28-0000-00-006

VICINITY MAP



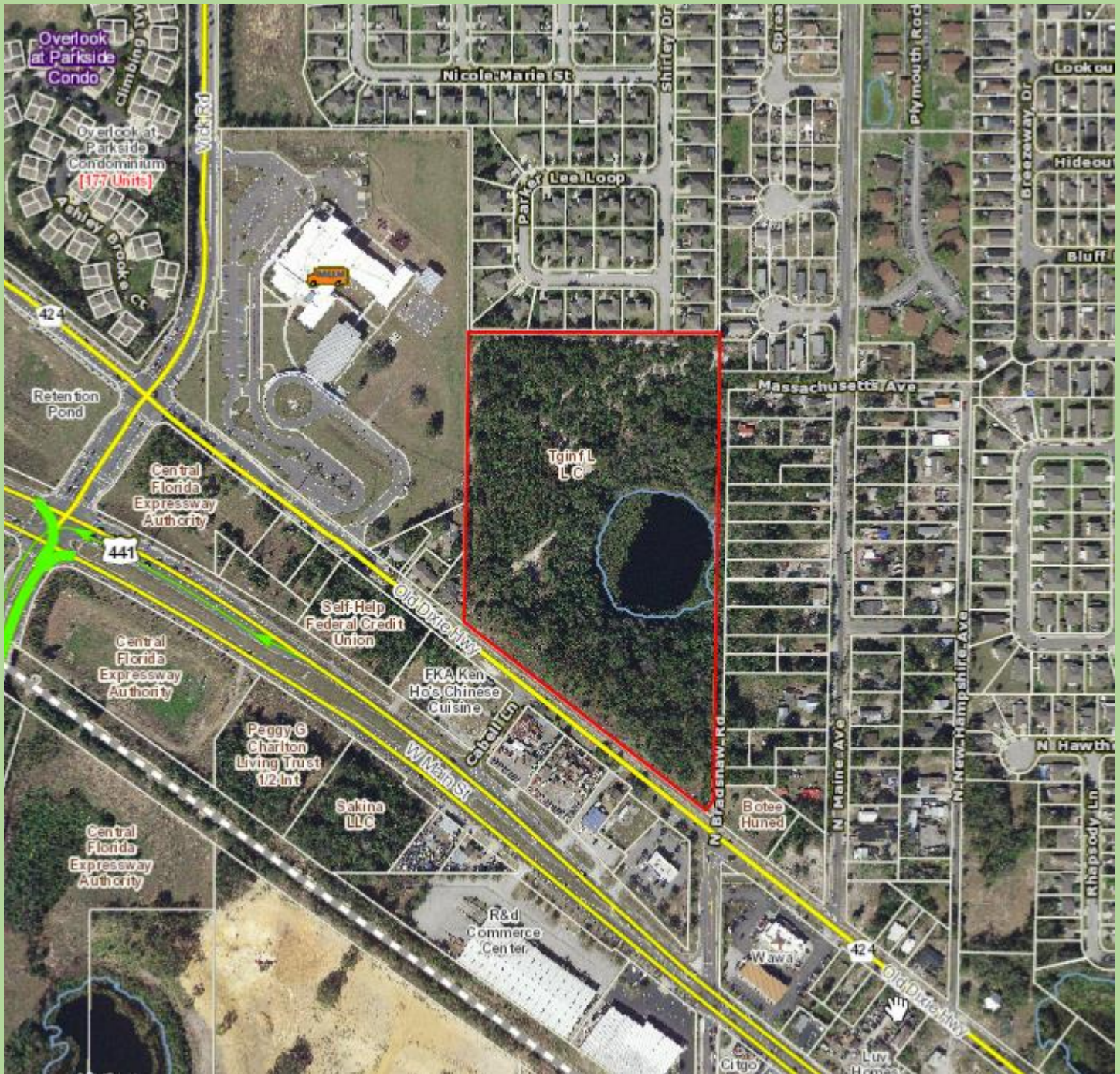


ADJACENT ZONING





EXISTING USES



ORDINANCE NO. 2628

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM C-1 (COMMERCIAL) TO R-3 (RESIDENTIAL) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF OLD DIXIE HIGHWAY AND EAST OF VICK ROAD, COMPRISING 15.8 ACRES MORE OR LESS, AND OWNED BY TGINF LLC; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, TGINF, LLC has requested a change in zoning on said property as identified in Section I of this ordinance; and

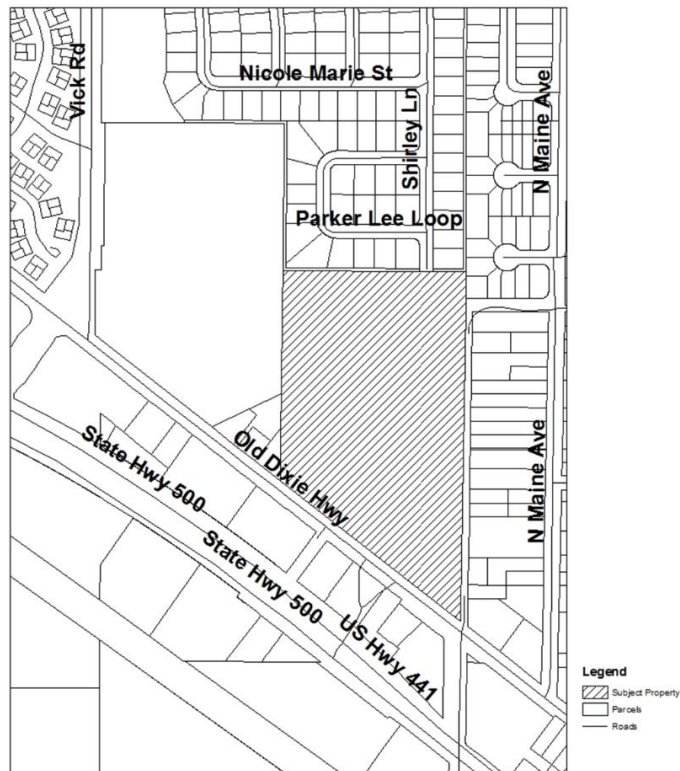
WHEREAS, the proposed R-3 zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby R-3 Residential, as defined in the Apopka Land Development Code.

Legal Description:

COMM AT SW COR OF SEC 4 E ALONG SLY LINE OF SEC 667.39 FT TO SE COR OF SW1/4 OF SW1/4 OF SW1/4 FOR POB N 122.09 FT E 667.28 FT S 1239.25 FT S 38 DEG W 46.02 FT TO N R/W LINE OF SR 424 N 51 DEG W 812.09 FT N 654.21 FT TO POB IN SECS 04 & 09-21-28



Parcel ID No: 09-21-28-0000-00-006
Contains: 15.73 +/- Acres

ORDINANCE NO. 2628

PAGE 2

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon the effective date of Ordinance 2604.

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: December 26, 2017; March 9, 2018



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Uses Map

SUBJECT: ORDINANCE NO. 2624 - CHANGE OF ZONING – GEORGE THUM, JR. AND PHILLIP AND PEGGY DIONNE

REQUEST: ORDINANCE NO. 2624 – SECOND READING - CHANGE OF ZONING FROM “COUNTY” A-1 (AGRICULTURE) & “CITY” AG (AGRICULTURE) TO “CITY” PO/I (PROFESSIONAL OFFICE/INSTITUTIONAL); ADOPT ORDINANCE NO. 2624

SUMMARY:

OWNERS: George Thum, Jr. & Phillip and Peggy Dionne

APPLICANT: Orange County Public Schools c/o Tyrone Smith, AICP

LOCATION: West of Jason Dwelley Parkway, south of West Kelly Park Road

PARCEL ID NUMBERS: 18-20-28-0000-00-053; 18-20-28-0000-00-054

EXISTING USE: Single-family residences

FLUM DESIGNATION: Institutional\Public Use

CURRENT ZONING: “County” A-1 (Agriculture) and “City” AG (Agriculture)

DEVELOPMENT POTENTIAL: Proposed elementary school

PROPOSED ZONING: “City” PO/I (Professional Office/Institutional) (Note: this Change of Zoning amendment request is being processed along with a request to change the Future Land Use Map designation from “County” Rural (0-1 du/10 ac) and “City” Agriculture (0-1 du/ 5 ac) to “City” Institutional/Public Use.

TRACT SIZE: 15.17 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: Single-family residences
 PROPOSED: Elementary School

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

G:\CommDev\PLANNING ZONING\REZONING\2018\Thum Dionne

ADDITIONAL COMMENTS. The subject properties were annexed into the City on November 16, 2005 via Ordinance 1787; and on June 21, 2017 via Ordinance 2573. The proposed Large Scale Future Land Use Amendment is being requested by the owner/applicant. Pursuant to Florida law, properties ten acres or more are required to undergo review by State planning agencies. The applicant requests the change of zoning to Professional Office/Institutional to accommodate a public elementary school. This change of zoning request is being processed in conjunction with a proposed future land use map amendment requesting Institutional/Public Use. The proposed use as an elementary school is permitted within the proposed FLU designation per FLU Policy 3.1.Q, Institutional/Public Use:

“Primary uses shall include public buildings and facilities. Existing public buildings and facilities and public education sites may be designated as institutional on the FLUM.”

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this zoning change (see attached Zoning Report).

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Institutional/Public Use Future Land Use designation and the City’s proposed PO/I Zoning classifications. An elementary school is a permitted use within the Institutional/Public Use FLUM designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: Because this Change of Zoning represents a change to a non-residential underlying zoning classification, a capacity enhancement agreement with Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County.

PUBLIC HEARING SCHEDULE:

January 9, 2018 – Planning Commission (5:30 pm)
February 7, 2018 – City Council (1:30 pm) – 1st Reading
February 21, 2018 – City Council (7:00 pm) – 2nd Reading

DULY ADVERTISED:

December 22, 2017 – Public Notice and Notification (Apopka Chief, letters, property posting)
February 9, 2018 – Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and recommends approval of the change in zoning from “County” A-1 (ZIP) and “City” AG (Agriculture) to “City” PO/I (Professional Office/Institutional).

The **Planning Commission**, at its meeting on January 9, 2018, found the proposed amendment consistent with the Comprehensive Plan and unanimously recommended approval of the change in zoning from “County” A-1 (ZIP) and “City” AG (Agriculture) to “City” PO/I (Professional Office/Institutional).

City Council at its February 7, 2018 meeting accepted the First Reading of Ordinance 2624 and Held it Over for Second Reading and Adoption on February 21, 2018.

Recommended Motion: Adopt Ordinance 2624

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City & County)	“County” Rural (0-1 du/10 ac) and “City” Agriculture (1-5 du/5 ac)	AG	Single-family residence
East (City)	Residential Estates (1 du/ac)	PUD	R-O-W and Rock Springs Ridge subdivision
South (City)	Residential Very Low Suburban (0-2 du/ac)	PUD	Orchid Estates subdivision
West (City & County)	“County” Rural (0-1 du/10 ac) and “City” Agriculture (1-5 du/5 ac)	A-1	Single family home

LAND USE

COMPATIBILITY:

The proposed zoning and use is compatible with adjacent zoning districts and the general character of the surrounding area. Predominant land uses in the abutting and surrounding area are single family residential. However, properties abutting the subject site have the Residential Very Low Suburban Future Land Use. The proposed use for a public elementary school is permitted within the Institutional/Public Use future land use designation policy, which supersedes zoning. Further, the proposed use is located approximately one-half mile from the City’s Northwest Recreation Complex, which is a public/institutional use.

The Land Use Compatibility supporting information from the Future Land Use amendment is incorporated into the findings of the Zoning Report.

TRAFFIC

COMPATIBILITY:

The property has access to a city collector roadway (Jason Dwelley Parkway). Future land use designations and zoning categories assigned to properties to the north, south, east and west are consistent with the proposed future land use and zoning classification for the subject property.

COMPREHENSIVE

PLAN COMPLIANCE:

The proposed PO/I (Professional Office/Institutional) zoning is compatible with policies set forth in the Comprehensive Plan.

PO/I DISTRICT

REQUIREMENTS:

FAR: 0.30
 Open Space: N/A
 Minimum Site Area: 10,000
 Minimum Lot Width: 85
 Setbacks: Front: 25 ft.
 Side: 10 ft.
 Corner: 25 ft.
 Rear: 10 ft.

ALLOWABLE USES:

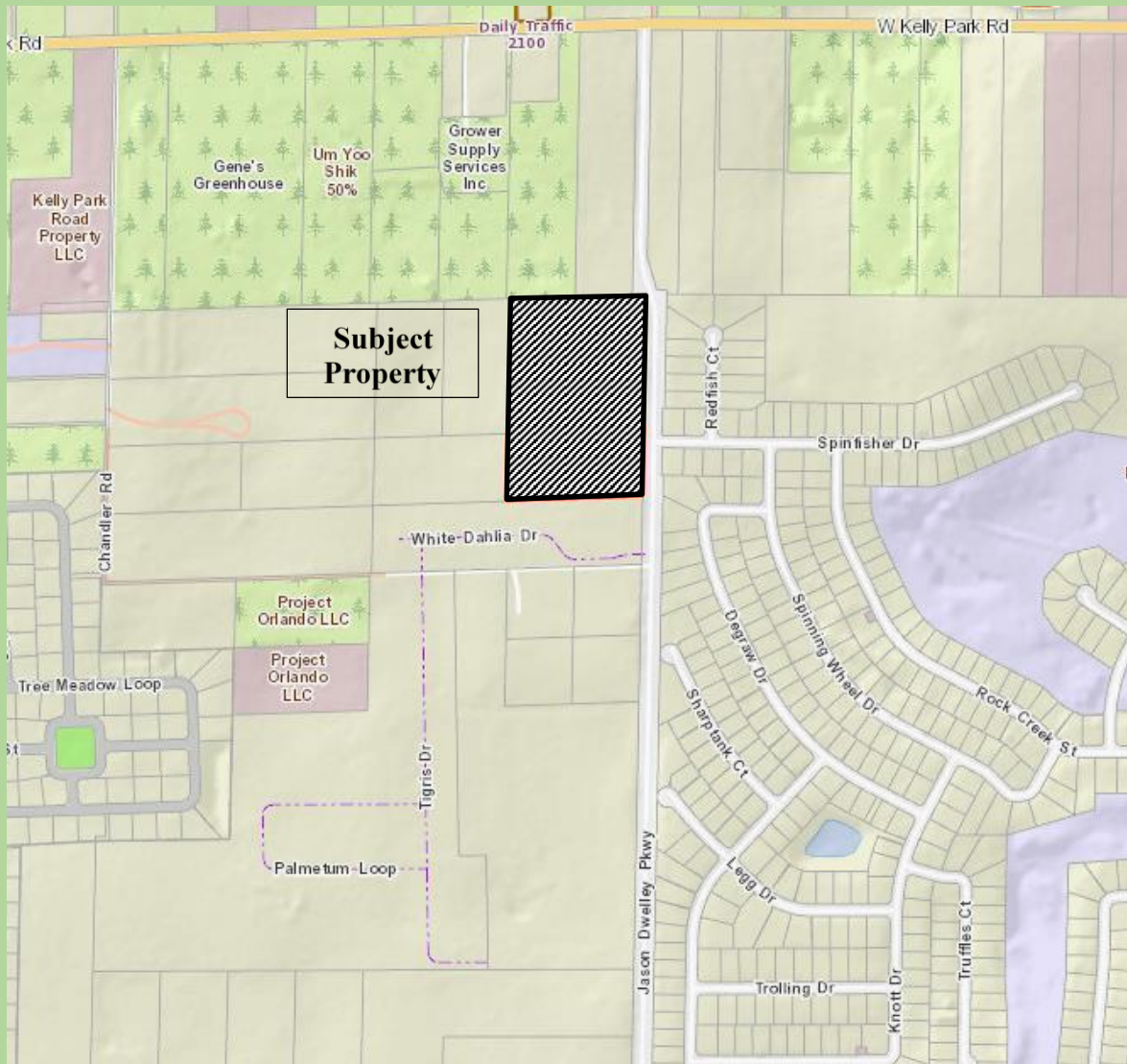
2.02.10. - Professional Office/Institutional District (PO/I)

1. Professional offices, including those of architects, engineers, lawyers, accountants, tax and financial services or consultants, bookkeepers, realtors and brokers, insurance, investment counselors, travel agencies, etc.
2. Medical or dental clinics and offices.
3. Establishments for the retail sale of pharmaceutical, medical and dental supplies and other hospital-related items such as wheelchairs, braces, crutches, etc., for the handicapped and other similar merchandise
4. Parks and recreational areas owned and operated by nonprofit organizations.
5. Hospitals, museums, libraries, and cultural institution.
6. General government offices, including, but not limited to, fire stations, police stations, and post offices.
7. Churches and attendant educational facilities.
8. **Educational facilities** and day nurseries.
9. Public and private utilities.
10. Supporting infrastructure and public facilities.
11. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based on the community development director's recommendation

George Thum, Jr. & Phillip and Peggy Dionne
Proposed Large Scale Future Land Use Amendment:
From: “County” Rural (0-1 du/10 ac) &
“City” Agriculture (0-1 du/5 ac)
To: “City” Institutional/Public Use
Proposed Change of Zoning:
From: “County” A-1 (ZIP) & “City” AG (Agriculture)
To: “City” PO/I (Professional Office/Institutional)
Parcel ID #s: 18-20-28-0000-00-053; 18-20-28-0000-00-054

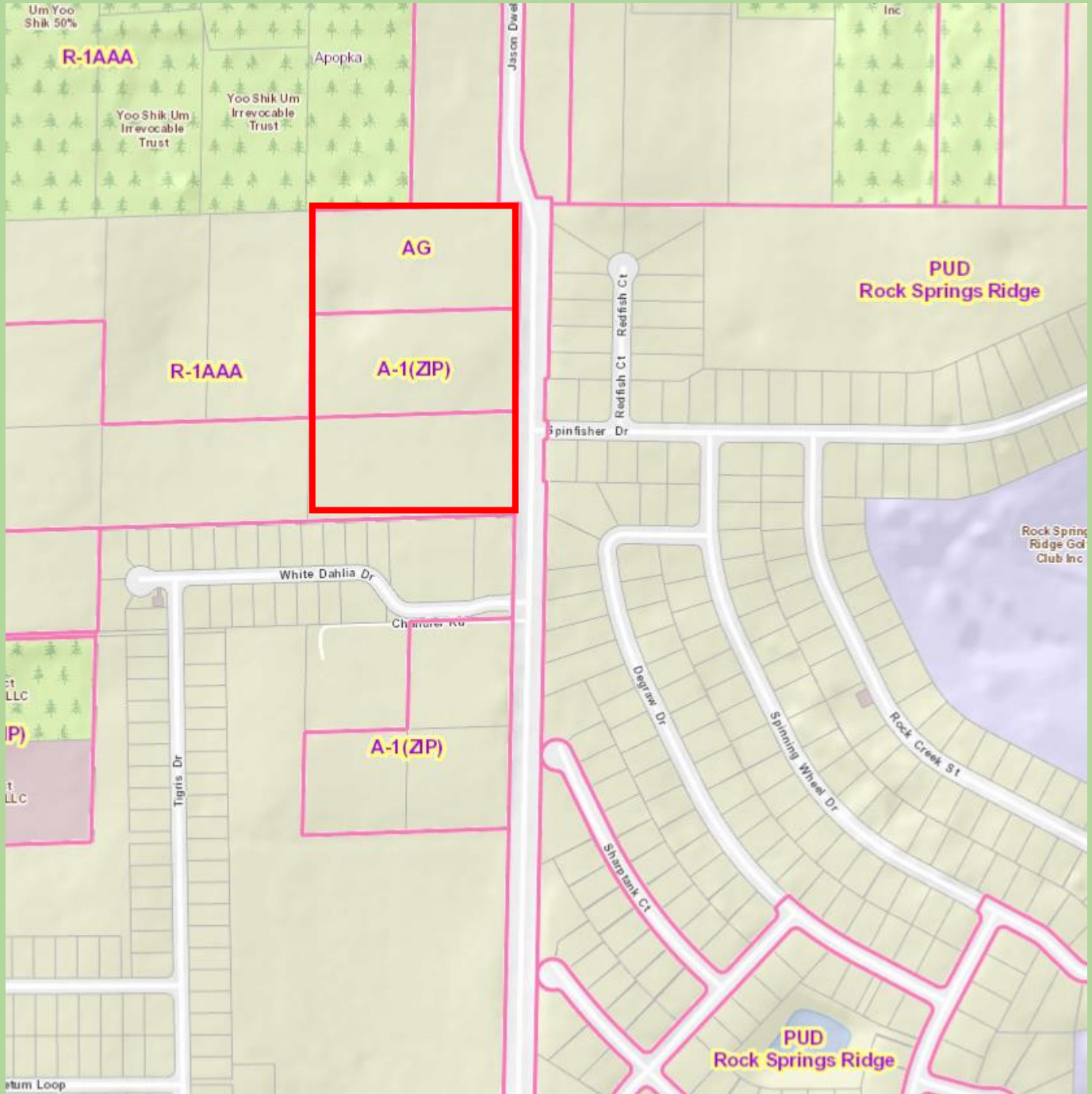


VICINITY MAP



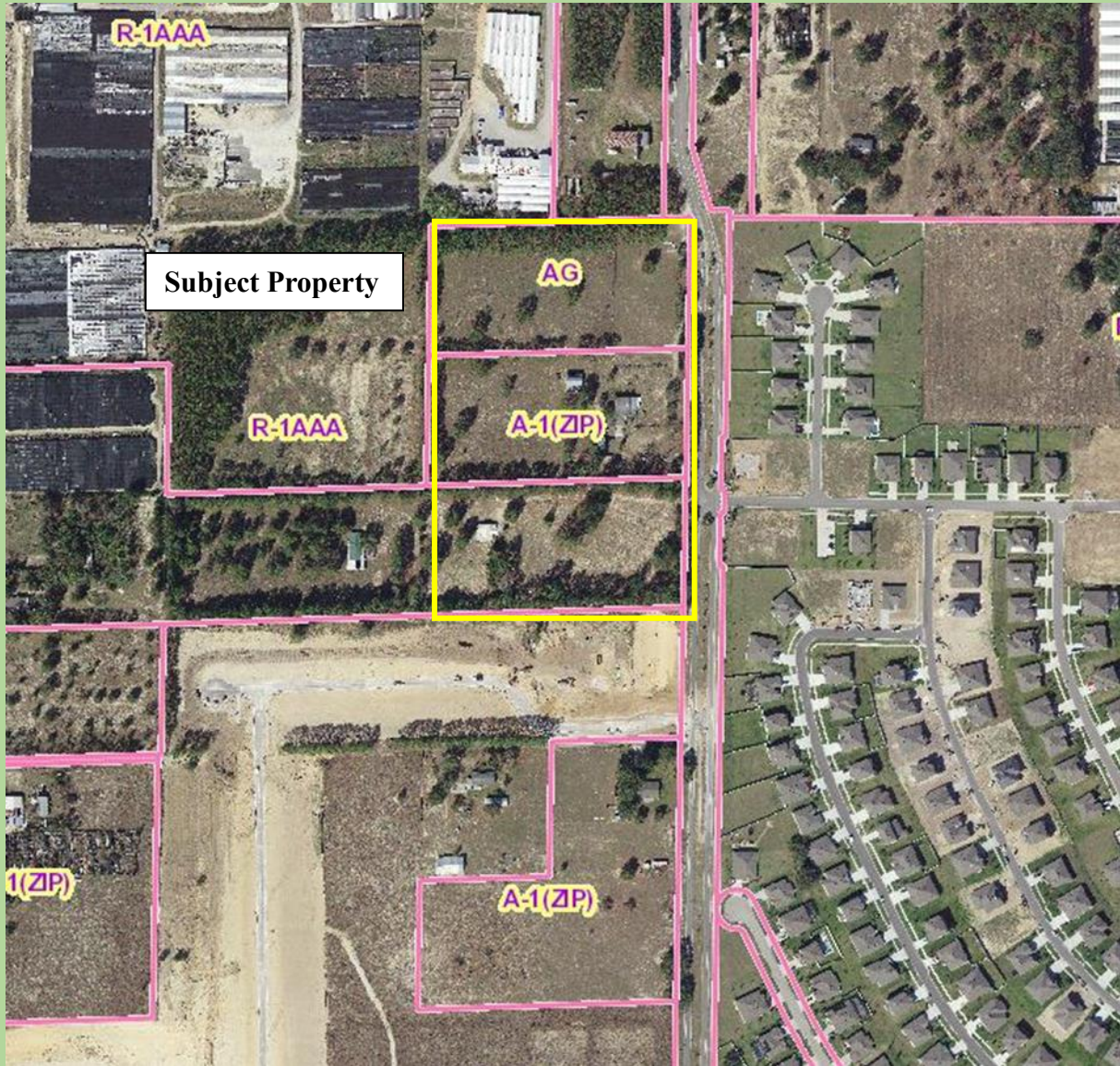


ADJACENT ZONING





ADJACENT USES





EXISTING USES



ORDINANCE NO. 2624

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 (AGRICULTURE) AND “CITY” AG (AGRICULTURE) TO “CITY” PO/I (PROFESSIONAL OFFICE/ INSTITUTIONAL) FOR CERTAIN REAL PROPERTIES LOCATED WEST OF JASON DWELLEY PARKWAY AND SOUTH OF WEST KELLY PARK ROAD, COMPRISING 15.17 ACRES, MORE OR LESS, AND OWNED BY GEORGE THUM JR. AND PEGGY DIONNE; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

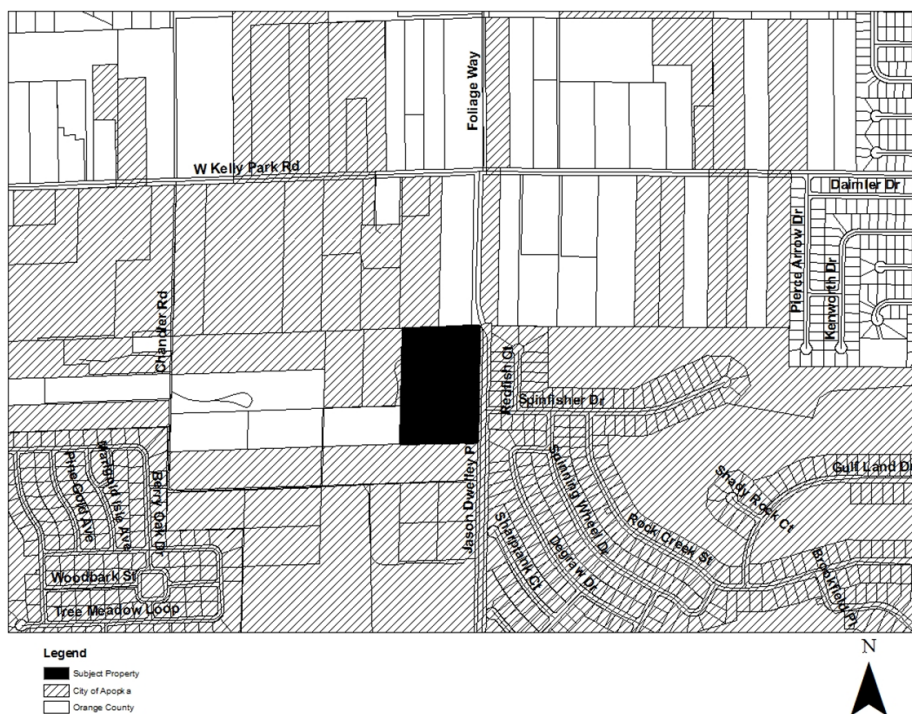
WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, George Thum Jr. and Peggy Dionne have requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed PO/I zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby PO/I, as defined in the Apopka Land Development Code.



Parcel ID Nos: 18-20-28-0000-00-053 & 18-20-28-0000-00-054
Contains: 15.17 +/- Acres

ORDINANCE NO. 2609

PAGE 2

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon adoption.

READ FIRST TIME: February 7, 2018

READ SECOND TIME
AND ADOPTED: February 21, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: December 22, 2017; September 9, 2018



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBIT(S): Ordinance No. 2633

SUBJECT: ORDINANCE NO. 2633 – VACATING A PORTION OF A PLATTED RIGHT-OF-WAY - RANSOM STREET

REQUEST: ACCEPT THE FIRST READING OF ORDINANCE NO. 2633 – VACATE A PLATTED RIGHT OF WAY - RANSOM STREET; AND HOLD OVER FOR SECOND READING AND ADOPTION.

SUMMARY:

OWNER/APPLICANT: City of Apopka

LOCATION: North of East 6th Street, south of U.S. Highway 441 and west of South Sheeler Avenue.

EXISTING USE: Right-of-way

AREA TO BE VACATED: 0.14 acre +/-

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Right-of-Way	N/A	U.S. Highway 441/S.R. 500
East (City)	Institutional/Public Use	C-2	Vacant
South (City)	Right-of-way	N/A	6th Street
West (City)	Institutional/Public Use	PO/I	Vacant/Retention Pond

FUNDING SOURCE:

N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The City is seeking to vacate Ransom Street that is an existing public right of way that was established within the R.F. Tilden's Addition plat. The City will incorporate this - right-of-way with City-owned parcels on the western and eastern properties as one parcel.

The Public Services Department has evaluated the site and has no objection to the right-of-way being vacated. The City has letters on file from all utility providers indicating no objections to the proposed vacate. A replat will be required to combine this with the western and eastern parcels and must be approved by the City Council.

PUBLIC HEARING SCHEDULE:

February 7, 2018 - City Council - 1st Reading (1:30 p.m.)
February 21, 2018 - City Council - 2nd Reading (7:00 p.m.)

DULY ADVERTISED:

January 19, 2018 - Public Hearing Notice
February 9, 2018 - Ordinance Heading Ad

RECOMMENDATION ACTION:

The **Development Review Committee** recommends approval of the request by the City of Apopka to vacate Ransom Street platted right of way as described in the legal description, subject to the recording of a replat.

The **City Council**, at its meeting on February 7, 2018, accepted the First Reading of Ordinance No. 2633 and held it over for Second Reading and Adoption on February 21, 2018.

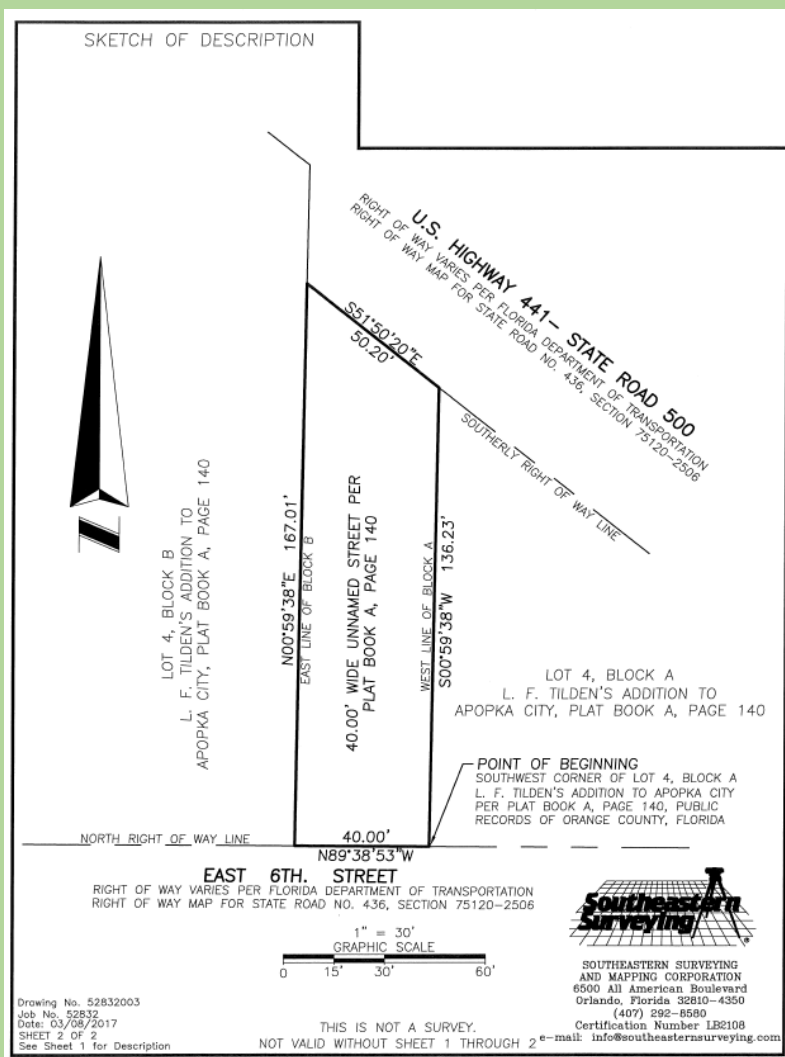
Adopt Ordinance No. 2633.

**CITY COUNCIL – FEBRUARY 21, 2018
 RANSOM STREET VACATE
 PAGE 3**

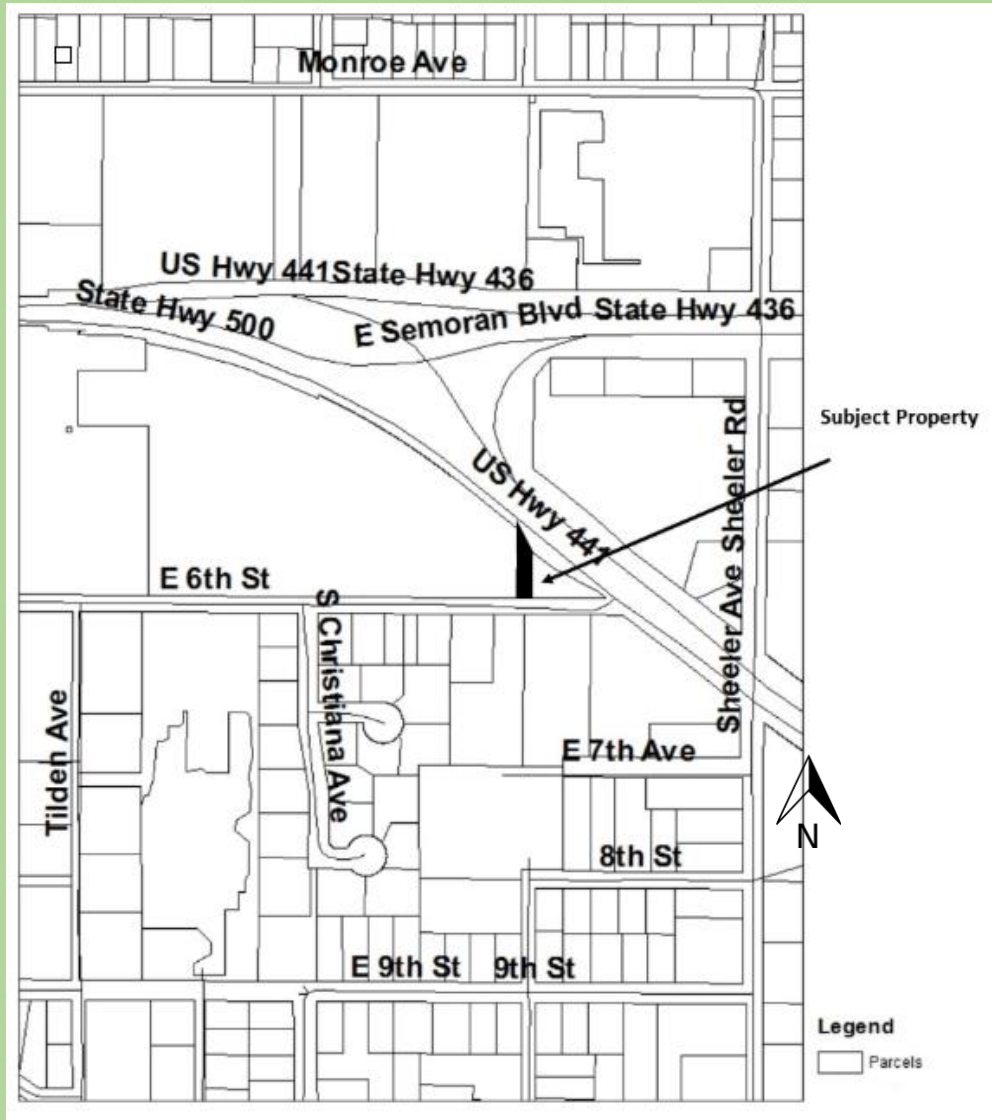
Applicant: City of Apopka
Proposed Vacate Legal Description:

Begin at the Southwest corner of Lot 4, Block A of L. F. Tilden's Addition to Apopka City according to the plat thereof recorded in Plat Book A, Page 140, Public Records of Orange County, Florida, said point being on the North right of way line of East 6TH. Street per the Florida Department of Transportation right of way map for State Road No. 436, Section 75120-2506; thence North 89°38'53" West, a distance of 40.00 feet, along said North right of way line to a point on the East line of Block B as shown on said plat; thence North 00°59'38" East, a distance of 167.01 feet, along said East line to a point on Southerly right of way line of U. S. Highway 441-State Road 500 as shown on said right of way map; thence South 51°50'20" East, a distance of 50.20 feet, along said Southerly right of way line to a point on the West line of said Block A; thence South 00-59'38" West, a distance of 136.23 feet, along said West line to the POINT OF BEGINNING.

Total Acres: 0.14 +/- Acre



VICINITY MAP



AERIAL MAP



ORDINANCE NO. 2633

AN ORDINANCE OF THE CITY OF APOPKA, TO VACATE A RIGHT OF WAY, KNOWN AS RANSOM STREET, LOCATED NORTH OF EAST 6TH STREET, SOUTH OF U.S. HIGHWAY 441; WEST OF SOUTH SHEELER AVENUE IN SECTION 10, TOWNSHIP 21, RANGE 28 OF ORANGE COUNTY, FLORIDA; PROVIDING DIRECTIONS TO THE CITY CLERK, FOR SEVERABILITY, FOR CONFLICTS, AND AN EFFECTIVE DATE

WHEREAS, pursuant to provisions of Florida Statutes, Section 336.10, a Petition has been filed by the City of Apopka, to vacate, abandon, discontinue, renounce and disclaim alleyway as shown in Exhibit "A"; and

WHEREAS, CenturyLink (f/k/a Embarq), Duke Energy, Charter Spectrum Communications and Lake Apopka Natural Gas District have no objection to the abandonment of a portion of the existing utility easement; and

WHEREAS, the City Council has determined that under the proposed circumstances there exists no public need for this existing easement; and

WHEREAS, after public notice in accordance with Florida Statute 336.10, the City Council has determined that it is not contrary to public interest to vacate and abandon said existing easement.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section 1. That the following lands, and graphically depicted by the attached Exhibit "A," shall be officially closed, discontinued, and vacated:

Legal Description:

Begin at the Southwest corner of Lot 4, Block A of L. F. Tilden's Addition to Apopka City according to the plat thereof recorded in Plat Book A, Page 140, Public Records of Orange County, Florida, said point being on the North right of way line of East 6TH. Street per the Florida Department of Transportation right of way map for State Road No. 436, Section 75120-2506; thence North 89°38'53" West, a distance of 40.00 feet, along said North right of way line to a point on the East line of Block B as shown on said plat; thence North 00°59'38" East, a distance of 167.01 feet, along said East line to a point on Southerly right of way line of U. S. Highway 441-State Road 500 as shown on said right of way map; thence South 51 °50'20" East, a distance of 50.20 feet, along said Southerly right of way line to a point on the West line of said Block A; thence South 00·59'38" West, a distance of 136.23 feet, along said West line to the POINT OF BEGINNING.

CONTAINING 6065 SQUARE FEET, MORE OR LESS

Section II. NOTICE. That notice of the adoption of this Ordinance be published and the Ordinance be filed with the Clerk of the Circuit Court of Orange County, Florida, and duly recorded among the Public Records of Orange County, Florida.

Section III. SEVERABILITY. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this Ordinance.

Section IV. CONFLICT. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section V. EFFECTIVE DATE. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: February 7, 2018

READ SECOND TIME
AND ADOPTED: February 21, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

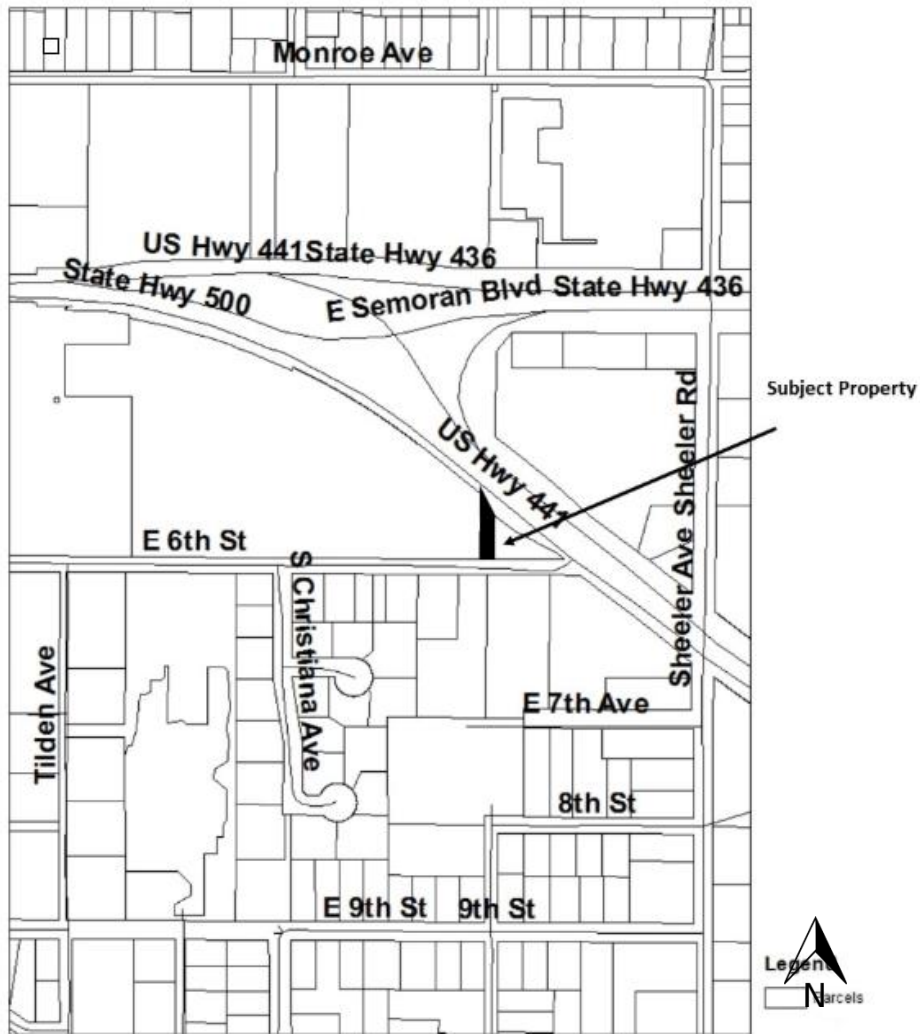
APPROVED AS TO FORM:

Clifford Shepard, Esq., City Attorney

DULY ADVERTISED FOR PUBLIC HEARING: January 19, 2018 and February 9, 2018

City of Apopka
Proposed Vacate of Right-of-Way
Ransom Street

VICINITY MAP



ORDINANCE NO. 2633

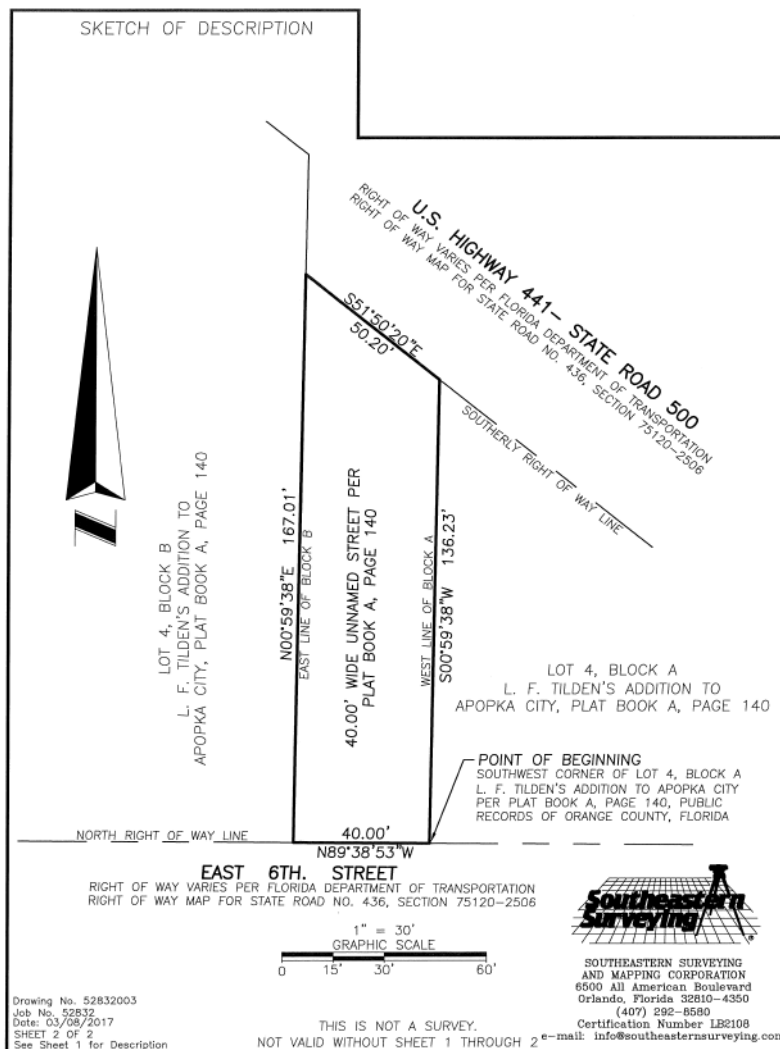
PAGE 4

Applicant: City of Apopka

Proposed Vacate Legal Description:

Begin at the Southwest corner of Lot 4, Block A of L. F. Tilden's Addition to Apopka City according to the plat thereof recorded in Plat Book A, Page 140, Public Records of Orange County, Florida, said point being on the North right of way line of East 6TH. Street per the Florida Department of Transportation right of way map for State Road No. 436, Section 75120-2506; thence North 89°38'53" West, a distance of 40.00 feet, along said North right of way line to a point on the East line of Block B as shown on said plat; thence North 00°59'38" East, a distance of 167.01 feet, along said East line to a point on Southerly right of way line of U. S. Highway 441- State Road 500 as shown on said right of way map; thence South 51 °50'20" East, a distance of 50.20 feet, along said Southerly right of way line to a point on the West line of said Block A; thence South 00°59'38" West, a distance of 136.23 feet, along said West line to the POINT OF BEGINNING.

Total Acres: 0.14 +/- Acre





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Future Land Use Report
 Vicinity Map
 Adjacent Zoning Map
 Future Land Use Map
 Adjacent Uses Map
 Ordinance No. 2629

SUBJECT: ORDINANCE NO. 2629 – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – VBRO ENTERPRISES, INC.

REQUEST: FIRST READING OF ORDINANCE NO. 2629 – COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – VBRO ENTERPRISES, INC.; FROM “COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC) TO “CITY” COMMERCIAL (MAX. 0.25 FAR); AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #: 28-20-28-0000-00-018)

SUMMARY:

OWNER: VBRO Enterprises, Inc.
 APPLICANT: William E. Burkett
 LOCATION: 41 East Lester Road
 EXISTING USE: Single-family residence
 CURRENT ZONING: “County” A-1
 DEVELOPMENT POTENTIAL: Maximum 9,119 sq. ft. commercial use (.25 floor area ratio)
 PROPOSED ZONING: “County” A-1 (Agriculture) (Note: this Future Land Use Map amendment request is being processed along with a request to annex and a request to change the Zoning Map designation from “County” A-1 to “City” PUD, Commercial Neighborhood).
 TRACT SIZE: 0.84 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: 3 Single Family Homes
 PROPOSED: Up to 9,119 sq. ft. commercial use

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: A request to assign a Future Land Use Designation of “Commercial” is compatible with the designations assigned to abutting properties. The FLUM application covers approximately 0.84 acre. Combined with the parcel to the east and several other parcels along the west side of Rock Springs Road, this parcel is proposed to be developed as a small commercial retail plaza. A proposed zoning of Planned Unit Development will tailor the site to appropriate commercial and office uses compatible to residential development further to the west along Lester Road. This proposed shopping plaza will be located at the northwest corner of Lester Road and Rock Springs Road.

The east-adjacent properties, facing an arterial road have a “Commercial” Future Land Use designation. The Wekiva Plaza Shopping Center is approximately a half mile south of the subject property.

In conjunction with state requirements, staff have analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The proposed zoning of the subject property, “Commercial Neighborhood” is consistent with the Commercial (max. 0.25 FAR) Future Land Use designation.

SCHOOL CAPACITY REPORT: Because this request represents a change to a non-residential future land use designation and zoning classification, school capacity determination by Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:

Planning Commission, February 13, 2018 (5:30 pm)
City Council February 21, 2018 (7:00 pm) - 1st Reading
City Council, March 7, 2018 (1:30 pm) - 2nd Reading

DULY ADVERTISED:

January 26, 2018- Public Notice (Letters, Apopka Chief, Site Posting)
February 2, 2018 - Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Office for the property owned by VBRO Enterprises, Inc., and located at 41 East Lester Road.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommend approval of the change of Future Land Use Designation from “County” Low Density Residential to “City” Commercial, subject to the findings of the Staff Report.

Accept the First Reading of Ordinance No. 2629 and Hold Over for Second Reading and Adoption on March 7, 2018.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	A-1	Single Family House
East (City)	Commercial	CN	Vacant
South (County)	Low Medium Density Residential	R-T	Mobile Home Park (Rock Springs/Palm Isle)
West (County)	Low Density Residential	A-1	Single Family House

II. LAND USE ANALYSIS

North: Abutting the subject property to the north is a single family home on a moderately wooded property.

West: The previously mentioned property is also west of the subject parcel. Beyond that is another single family home.

South: Lester Road is south adjacent to the property, the Rock Springs/Palm Isle Mobile Home Park is across from Lester Road.

East: Abutting the subject property to the east are vacant parcels, zoned CN, with a Commercial Future Land Use designation.

The proposed future land use designation of “City” Commercial serves as a transitional land use between the residential uses to the west and south.

Therefore, staff supports the proposed future land use changes.

Other Information:

Wekiva River Protection Area: No
 Area of Critical State Concern: No
 DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “Core Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and storm water run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Commercial (max. FAR 0.25). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

Future Population:

Adopted (County Designation) 3 X 2.659 = 7 Persons
Proposed (City designation): no impact on population

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 588 GPD
3. Projected total demand under proposed designation: 1,372 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 81 GPD/Capita
6. Projected LOS under proposed designation: 81 GPD/Capita
7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 630 GPD
3. Projected total demand under proposed designation: 1,829 GPD
4. Capacity available: Yes
5. Projected LOS under existing designation: 177 GPD / Capita
6. Projected LOS under proposed designation: 177 GPD / Capita
7. Improved/expansions already programmed or needed as a result of the proposed amendment:
None
8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 28 lbs/ day
4. Projected LOS under proposed designation: 18 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment:
None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John's River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

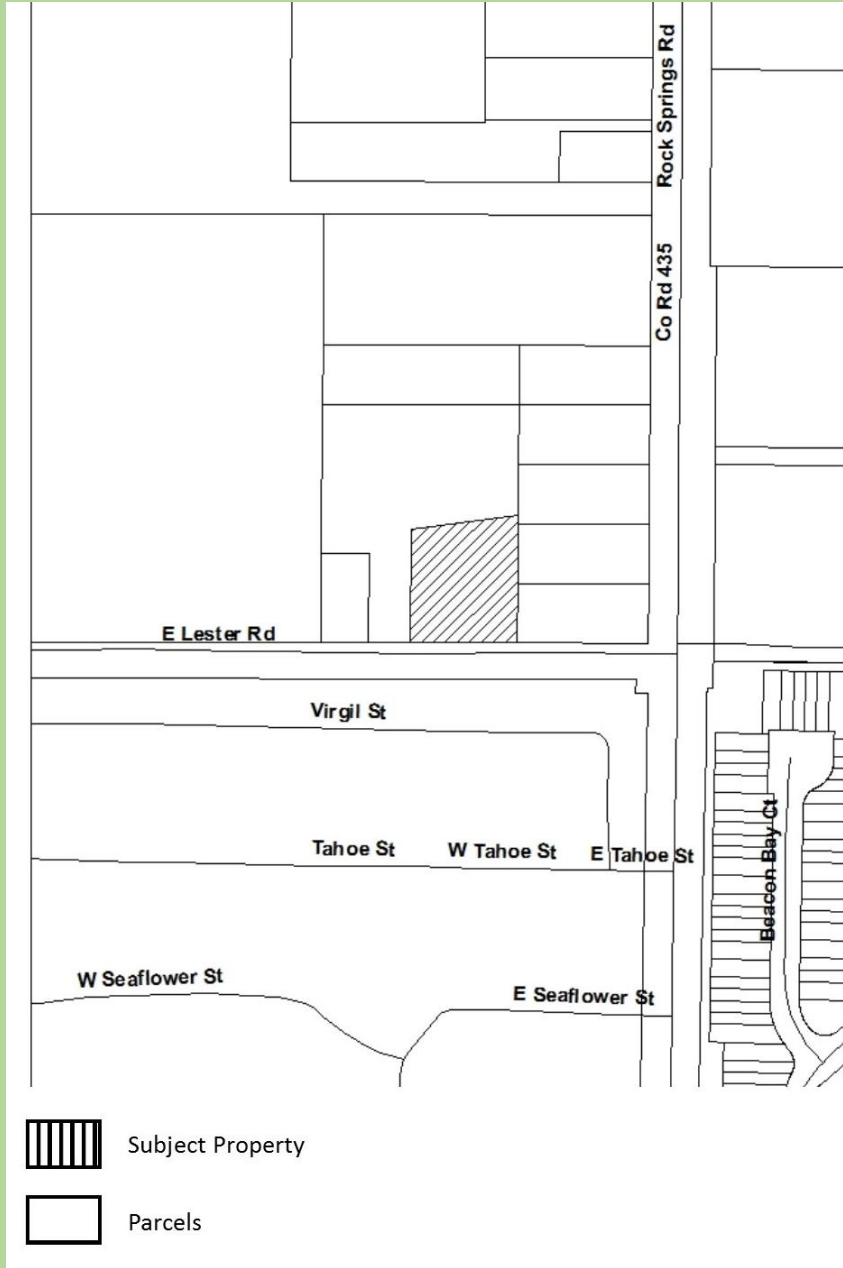
Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: 0.021 acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: None



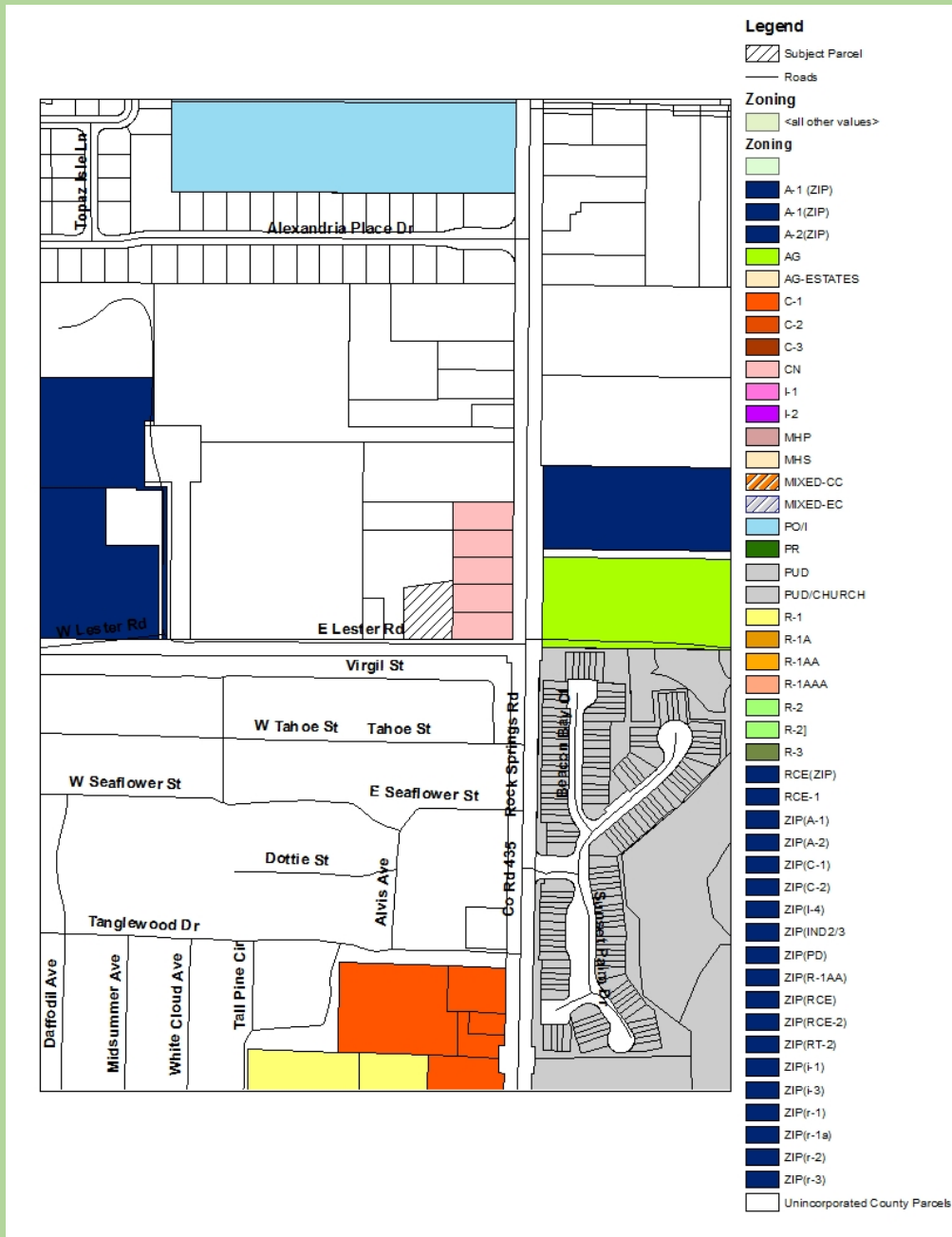
VBRO Enterprises
0.84 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Low Density Residential
To: "City" Commercial
Proposed Change of Zoning:
From: "County" A-1
To: CN
Parcel ID #: 28-20-28-0000-00-018

VICINITY MAP



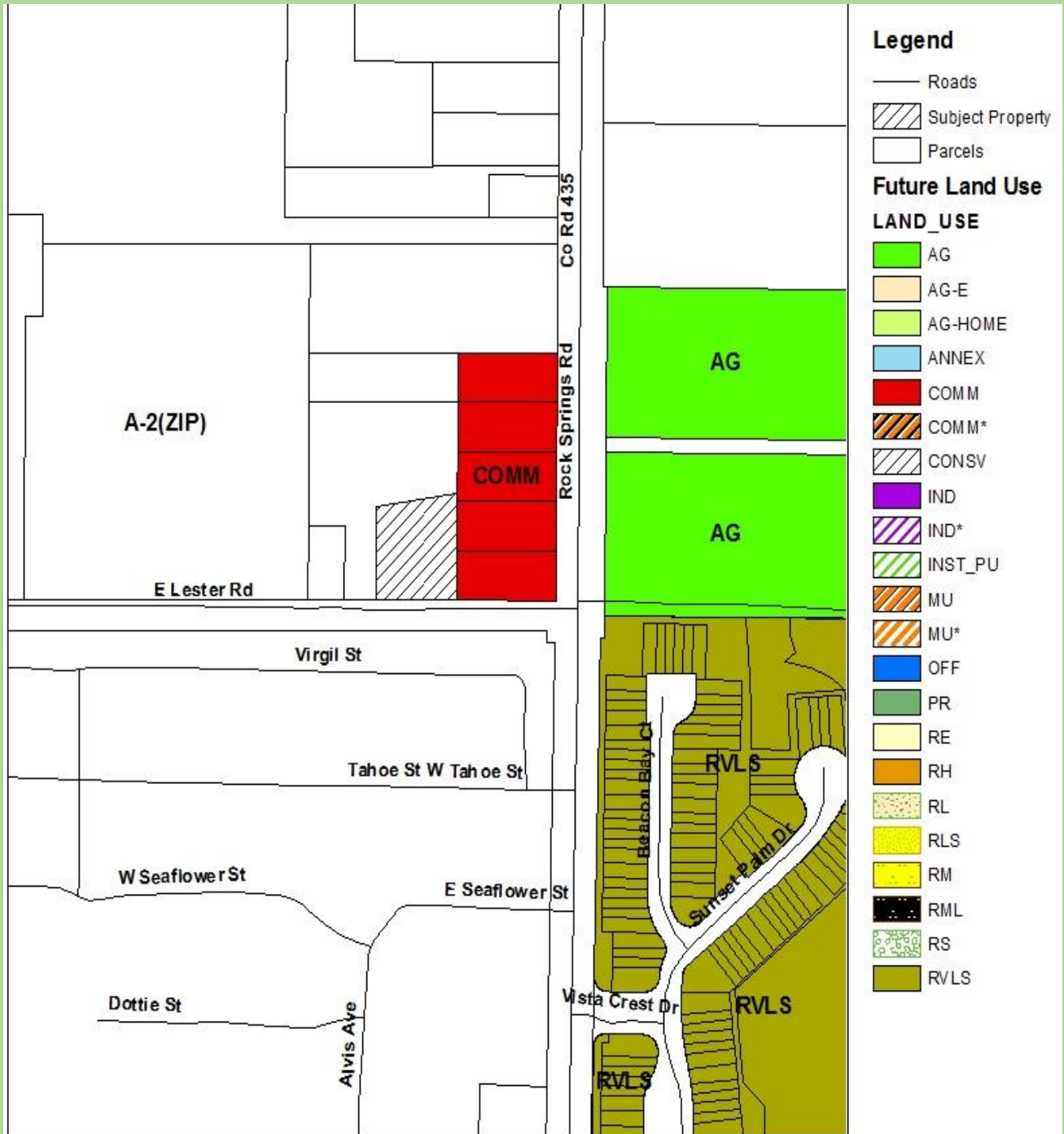


ADJACENT ZONING MAP



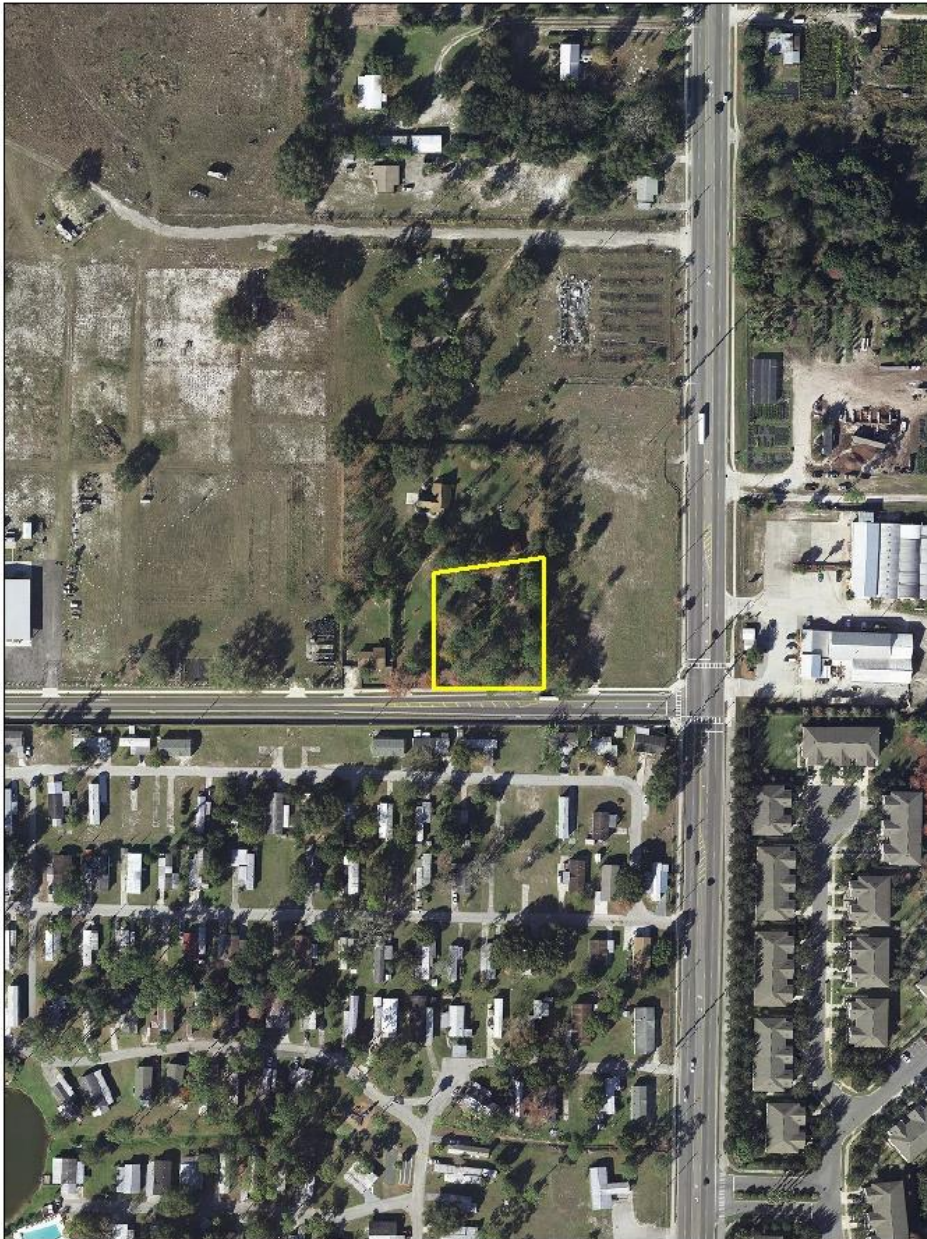


FUTURE LAND USE MAP





ADJACENT USES MAP



Legend

 Subject Parcel

ORDINANCE NO. 2629

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” LOW DENSITY RESIDENTIAL (0-4 DU/AC) TO “CITY” COMMERCIAL (MAX. 0.25 FAR) FOR CERTAIN REAL PROPERTY LOCATED AT 41 E. LESTER ROAD, COMPRISING 0.84 ACRE MORE OR LESS, AND OWNED BY VBRO ENTERPRISES INC.; PROVIDING FOR SEVERABILITY; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2583 adopted on December 20, 2017; and

WHEREAS, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. Purpose and Intent.

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

Section II. Future Land Use Element.

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2629, is amended in its entirety to change the land use from “County” Low Density Residential (0-4 du/ac) to “City” Commercial (Max. 0.25 FAR), for certain real property located at 41 E. Lester Road, comprising 0.84 acres more or less, (Parcel No. 28-20-28-0000-00-018); as further described in Exhibit “A” attached hereto.

Section III. Applicability and Effect.

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

Section IV. Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section V. The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance.

ORDINANCE NO. 2629
PAGE 2

Section VI. Effective Date.

This Ordinance shall become effective upon adoption.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this 7th day of March, 2018

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

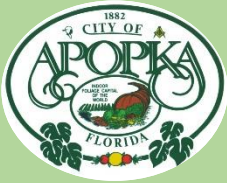
DULY ADVERTISED FOR HEARING: January 26, 2018 and February 23, 2018



EXHIBIT "A"

VBRO ENTERPRISES INC.
 0.84 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Low Density Residential
To: "City" Commercial
Proposed Change of Zoning:
From: A-1
To: PUD
Parcel ID #: 28-20-28-0000-00-018





CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Ordinance No. 2630

SUBJECT: ORDINANCE NO. 2630 – CHANGE OF ZONING – VBRO ENTERPRISES, INC.

REQUEST: FIRST READING OF ORDINANCE NO. 2630 – CHANGE OF ZONING – VBRO ENTERPRISES, INC. FROM “COUNTY” A-1 (AGRICULTURE) AND “CITY” CN TO “CITY” PLANNED UNIT DEVELOPEMTN (PUD/COMMERCIAL); AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #S: 28-20-28-0000-00-018; 28-20-28-0220-00-010; 28-20-28-0220-00-020; 28-20-28-0220-00-030; 28-20-28-0220-00-040; 28-20-28-0220-00-050)

SUMMARY:

OWNER: VBRO Enterprises, Inc.
 APPLICANT: William E. Burkett
 LOCATION: North of East Lester Road and West of Rock Springs Road
 EXISTING USE: Single-family residence
 CURRENT ZONING: “County” A-1 and “City” CN
 DEVELOPMENT POTENTIAL: Maximum 36,619 sq. ft. commercial use (.25 floor area ratio)
 PROPOSED ZONING: “City” PUD (Planned Unit Development Commercial) (Note: this Change of Zoning request is being processed with an application for 41 E. Lester Road for annexation and with a request to amend the Future Land Use from “County” Low Density Residential (0-4 du/ac) to “City” Commercial (Max. 0.25 FAR)
 TRACT SIZE: 3.36 +/- acres
 MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:
 EXISTING: 3 single-family homes and 27,500 sq. ft. commercial use
 PROPOSED: 36,619 sq. ft. commercial use

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The applicant desires to combine six small parcels at the northwest corner of North Rock Springs Road and Lester Road into a small commercial or office shopping center. For the five parcels abutting Rock Springs Road, “City” CN (Neighborhood Commercial) is currently assigned to each. For the sixth parcel, which fronts Lester Road and which was recently annexed into the City, the zoning is “County” A-1.

The intent of the PUD (Planned Unit Development) zoning request is to allow a restaurant at the intersection of E. Lester Road and N. Rock Springs Road. Restaurants are prohibited in the current CN zoning category. A request to rezone to C-1 (Retail Commercial District), to accommodate a restaurant, would potentially allow undesirable uses such as motels, laundry facilities, and outside storage of merchandise, equipment or commodities.

A request to assign a change of zoning to PUD, for commercial use, is compatible with the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The subject properties have 500 linear feet of frontage along Rock Springs Road, an arterial road. Other commercial properties, such as the Wekiva Plaza Shopping Center, are in the vicinity of the subject property.

The applicant has voluntarily agreed to restrict the type of commercial uses that may be incompatible for allocation that serves as a gateway into an area dominated by existing and future residential neighborhoods along Lester Road, from Rock Springs Road to Plymouth-Sorrento Road.

PUD DEVELOPMENT AND ZONING CONDITIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. All permitted uses listed in the PO/I (Professional Office/Institutional) and CN (Commercial Neighborhood) district, except those listed as prohibited below.
2. Restaurants, with or without outdoor seating,
3. Adult day care, not to exceed 7,000 square feet net floor area.
4. Retail businesses, except those listed as prohibited,
5. Banks,
6. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.

B. The uses prohibited within the PUD district shall be:

1. Tobacco Store
2. Laundromat businesses
3. Medical Marijuana Dispensary
4. Veterinary and pet grooming facilities
5. Motorized Vehicle Service Stations
6. New or used motorized vehicle sales
7. Plumbing Shops
8. Appliance Stores
9. Tattoo/Piercing Parlors
10. Adult entertainment as defined in section 10-98 of the Apopka Municipal Code
11. Auto title loan, paycheck advance facilities, and other "personal credit institutions"

12. Pawn shops.
13. Employment agencies.
14. Modular, mobile and pre-fab home display and sales.
15. Mini-warehouse and self-storage facilities.
16. Outside storage of supplies, materials, equipment, merchandise, and activities.
17. Motorized Truck stops or terminal as defined by this code.
18. Flea markets (indoor and outdoor).
19. Motorized automotive and transportation related businesses including new and used retail automotive part stores, mechanic shops, new and used car sales, boat sales, vehicle rental, etc.
20. Bail bonds businesses.
21. Blood banks, blood donor stations, plasmapheresis facilities, or other similar bio-donating uses; provided however, that this prohibition shall not include the practice of the following duly licensed professionals: physicians, dentists, orthodontists or pharmacists, or other health care practitioners, which may perform incidental bio-donating functions and procedures; provided, further, however, that this prohibition shall not apply to *bona fide* blood drives and similar events conducted by non-profit blood banks for a non-commercial purpose.
22. Soup kitchens; provided however, that this prohibition shall not apply to the *bona fide* charitable activities of *bona fide* churches, synagogues, mosques and other places of worship that are occupied and in operation on the effective date of this ordinance.
23. Outdoor parks and recreational areas.
24. Bowling alleys, skating rinks, billiard parlors and similar amusement centers.
25. Assisted Living Facilities.

C. Development Design Standards for this PUD, in addition to the Development Design Standards set forth in the Land Development Code (LDC) shall be as follows:

1. Drive through restaurants shall be limited to one drive aisle and no more than one menu board.
2. Drive through establishments without food and beverage sales are limited to two service drive aisles.
3. The development must have a unified architectural theme.
4. The development shall have a plaza or prominent architectural feature at the corner of Rock Springs Road and Lester Road. Examples include: statue, fountain, corner entrance, clock tower)
5. Outdoor seating encouraged at restaurant(s).
6. The development must have at least two separate buildings, each building shall have a footprint not greater than 15,000 square feet floor area.
7. Driveways must be at least 50 feet away from the southeastern corner of the development.
8. Building frontage along Rock Springs Road and Lester Road must resemble store fronts with windows and either faux or real entrances.
9. If any conflict occurs between the above design standards and the LDC, the above standards shall apply.

D. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

E. The requisite Master Plan shall be submitted with or as part of the Preliminary Development Plan application.

COMPREHENSIVE PLAN COMPLIANCE: The proposed Planned Unit Development zoning of the property is consistent with the proposed Commercial (Max. 25% Floor Area Ratio) Future Land Use designation. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: The proposed rezoning will not generate any residential development and, thus, will not have an impact on public schools.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:

Planning Commission, February 13, 2018 (5:30 pm)
City Council February 21, 2018 (7:00 pm) - 1st Reading
City Council, March 7, 2018 (1:30 pm) - 2nd Reading

DULY ADVERTISED:

January 26, 2018- Public Notice (Letters, Apopka Chief, Site Posting)
February 2, 2018 - Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” A-1 and “City” CN to “City” PUD for the property owned by VBRO Enterprises, Inc., and located at 41 E. Lester Road, 2038 Rock Springs Road, 2030 Rock Springs Road, 2022 Rock Springs Road, 2014 Rock Springs Road, and 2006 Rock Springs Road.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the proposed Change of Zoning from “County” A-1 and “City” CN to “City” PUD for the property owned by VBRO Enterprises, Inc., subject to the PUD development and zoning standards within the Staff Report.

Accept the First Reading of Ordinance No. 2630 and Hold Over for Second Reading and Adoption on March 7, 2018.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential	A-1	Single Family House
East (City)	Agriculture	AG	Greenhouse Operations
South (County)	Low Medium Density Residential	R-T	Mobile Home Park
West (County)	Low Density Residential	A-1	Single Family House

LAND USE & TRAFFIC

COMPATIBILITY:

The subject property fronts and is accessed by a county collector, East Lester Road and a major arterial road, N. Rock Springs Road.

COMPREHENSIVE PLAN

COMPLIANCE:

The proposed Planned Unit Development zoning, with the proposed development and zoning standards in the Staff Report, is consistent with the proposed Future Land Use designation, “Commercial” (Max. 25% FAR) and with the character of the surrounding area. Development Plans shall not exceed the intensity allowed in the adopted Future Land Use designation.

BUFFERYARD

REQUIREMENTS:

The CN zoning buffer requirement shall apply:

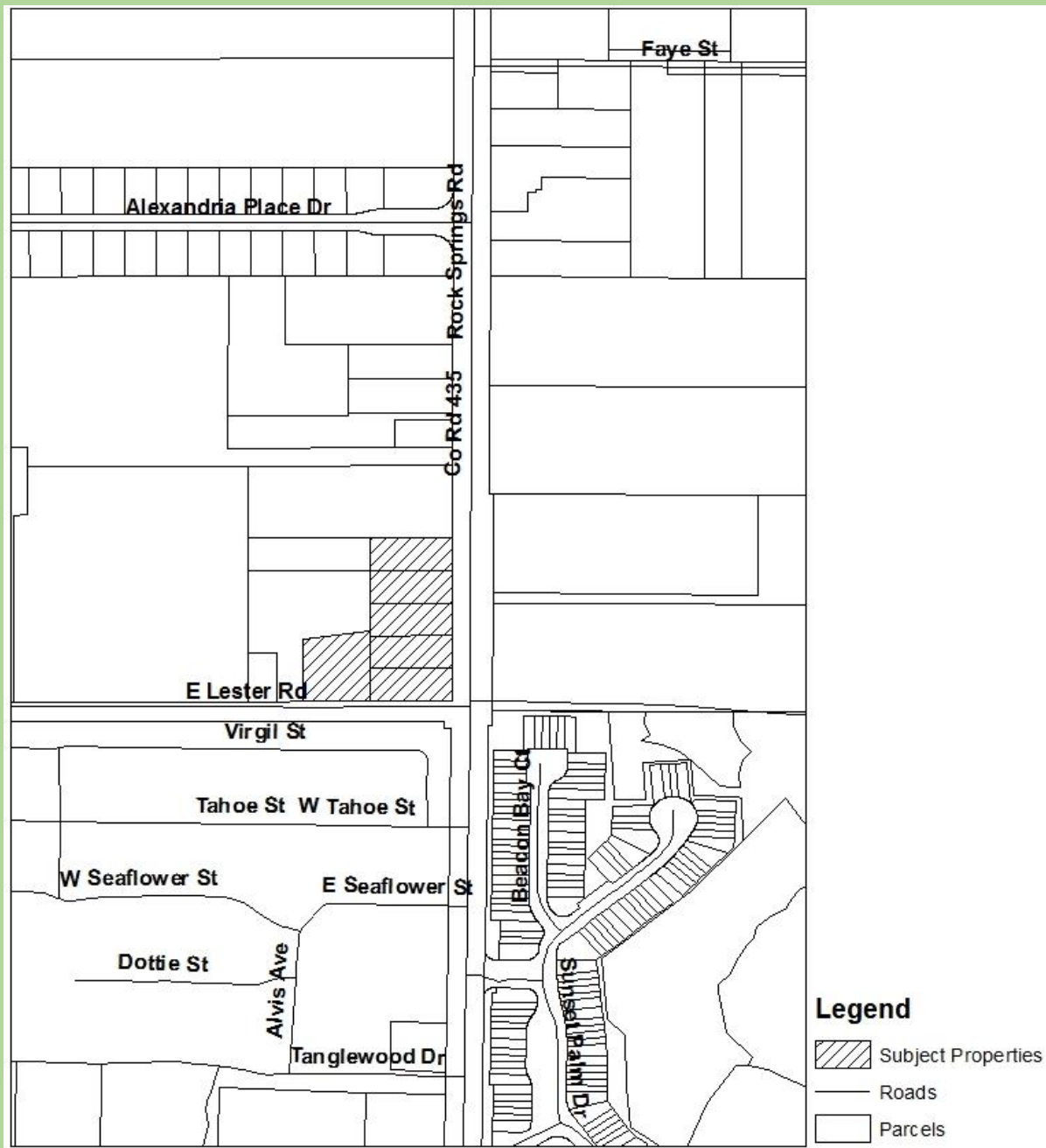
1. Areas adjacent to all road rights-of-way shall provide a minimum ten-foot landscaped bufferyard.
2. Areas adjacent to agricultural and residential uses or districts shall provide a minimum six-foot-high masonry wall within a ten-foot landscaped bufferyard.
3. Areas adjacent to nonresidential uses or districts shall provide a minimum of five-foot landscaped bufferyard.
4. Landscaping requirements for existing platted lots of record and structures may be approved in a lesser amount than required after review by the development review committee.



VBRO Enterprises
3.36 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: “County” Low Density Residential
To: “City” Commercial
Proposed Change of Zoning:
From: “County” A-1 and “City” CN
To: PUD

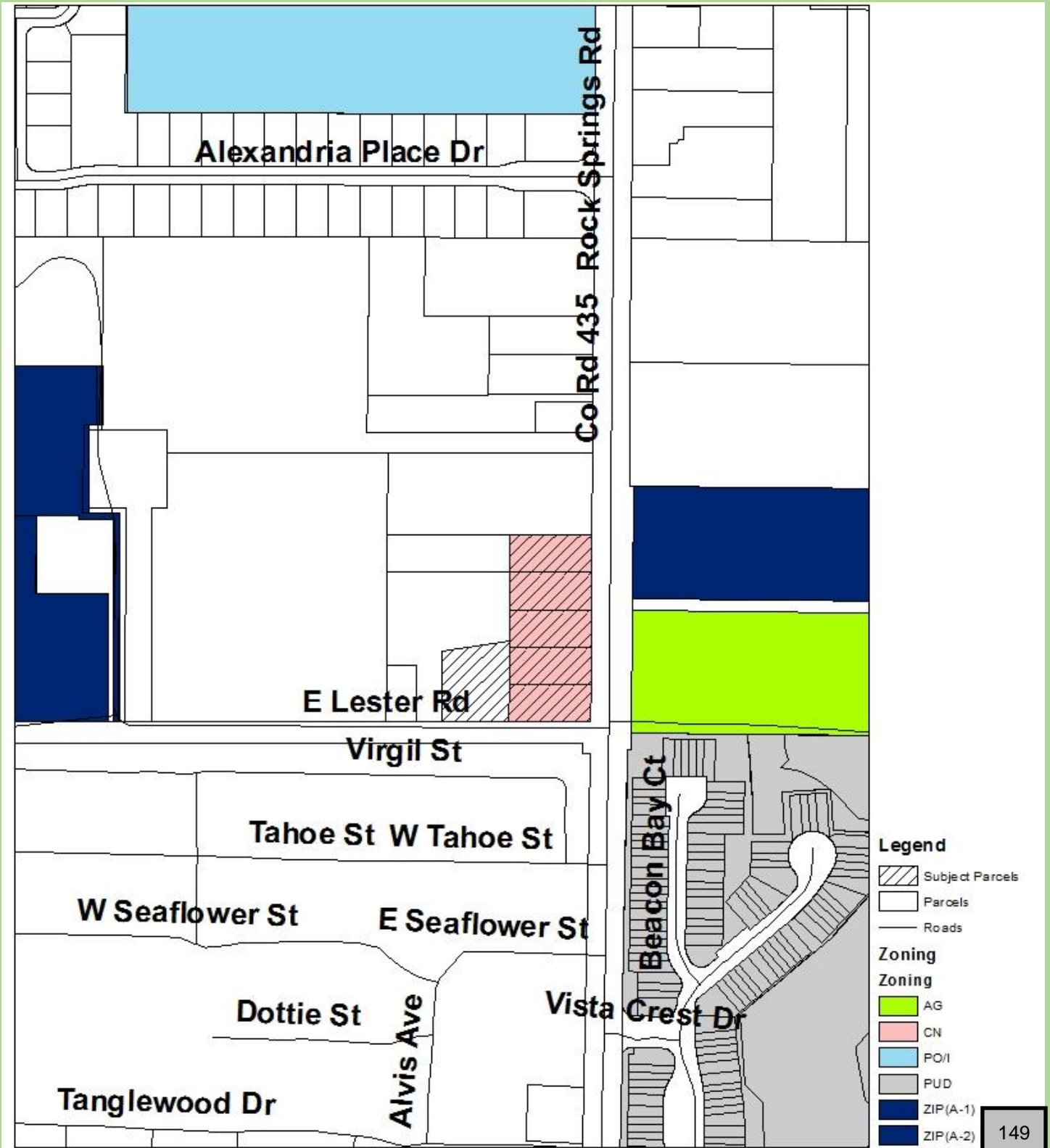
Parcel ID #: 28-20-28-0000-00-018; 28-20-28-0220-00-010; 28-20-28-0220-00-020;
28-20-28-0220-00-030; 28-20-28-0220-00-040; 28-20-28-0220-00-050

VICINITY MAP





ADJACENT ZONING MAP





ADJACENT USES MAP



ORDINANCE NO. 2630

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM “COUNTY” A-1 AND “CITY” CN TO “CITY” PLANNED UNIT DEVELOPMENT (PUD/COMMERCIAL) FOR CERTAIN REAL PROPERTY LOCATED AT 41 E. LESTER ROAD, 2038 ROCK SPRINGS ROAD, 2030 ROCK SPRINGS ROAD, 2022 ROCK SPRINGS ROAD, 2014 ROCK SPRINGS ROAD, AND 2006 ROCK SPRINGS ROAD, COMPRISING 3.36 ACRES MORE OR LESS, AND OWNED BY VBRO ENTERPRISES, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, the City of Apopka has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD/Commercial) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

PUD DEVELOPMENT AND ZONING CONDITIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

A. The uses permitted within the PUD district shall be:

1. All permitted uses listed in the PO/I (Professional Office/Institutional) and CN (Commercial Neighborhood) district, except those listed as prohibited below.
2. Restaurants, with or without outdoor seating,
3. Adult day care, not to exceed 7,000 square feet net floor area.
4. Retail businesses, except those listed as prohibited,
5. Banks,
6. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation.

B. The uses prohibited within the PUD district shall be:

ORDINANCE NO. 2630

PAGE 2

1. Tobacco Store
 2. Laundromat businesses
 3. Medical Marijuana Dispensary
 4. Veterinary and pet grooming facilities
 5. Motorized Vehicle Service Stations
 6. New or used motorized vehicle sales
 7. Plumbing Shops
 8. Appliance Stores
 9. Tattoo/Piercing Parlors
 10. Adult entertainment as defined in section 10-98 of the Apopka Municipal Code
 11. Auto title loan, paycheck advance facilities, and other "personal credit institutions"
 12. Pawn shops.
 13. Employment agencies.
 14. Modular, mobile and pre-fab home display and sales.
 15. Mini-warehouse and self-storage facilities.
 16. Outside storage of supplies, materials, equipment, merchandise, and activities.
 17. Motorized Truck stops or terminal as defined by this code.
 18. Flea markets (indoor and outdoor).
 19. Motorized automotive and transportation related businesses including new and used retail automotive part stores, mechanic shops, new and used car sales, boat sales, vehicle rental, etc.
 20. Bail bonds businesses.
 21. Blood banks, blood donor stations, plasmapheresis facilities, or other similar bio-donating uses; provided however, that this prohibition shall not include the practice of the following duly licensed professionals: physicians, dentists, orthodontists or pharmacists, or other health care practitioners, which may perform incidental bio-donating functions and procedures; provided, further, however, that this prohibition shall not apply to *bona fide* blood drives and similar events conducted by non-profit blood banks for a non-commercial purpose.
 22. Soup kitchens; provided however, that this prohibition shall not apply to the *bona fide* charitable activities of *bona fide* churches, synagogues, mosques and other places of worship that are occupied and in operation on the effective date of this ordinance.
 23. Outdoor parks and recreational areas.
 24. Bowling alleys, skating rinks, billiard parlors and similar amusement centers.
 25. Assisted Living Facilities.
- C. Development Design Standards for this PUD, in addition to the Development Design Standards set forth in the Land Development Code (LDC) shall be as follows:
1. Drive through restaurants shall be limited to one drive aisle and no more than one menu board.
 2. Drive through establishments without food and beverage sales are limited to two service drive aisles.
 3. The development must have a unified architectural theme.
 4. The development shall have a plaza or prominent architectural feature at the corner of Rock Springs. Road and Lester Road. Examples include: statue, fountain, corner entrance, clock tower)
 5. Outdoor seating encouraged at restaurant(s).

ORDINANCE NO. 2630

PAGE 3

6. The development must have at least two separate buildings, each building shall have a footprint not greater than 15,000 square feet floor area.
7. Driveways must be at least 50 feet away from the southeastern corner of the development.
8. Building frontage along Rock Springs Road and Lester Road must resemble store fronts with windows and either faux or real entrances.
9. If any conflict occurs between the above design standards and the LDC, the above standards shall apply.

D. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

1. Permit a single six-month extension for submittal of the required Final Development Plan;
2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
3. Rezone the property to a more appropriate zoning classification.

E. The requisite Master Plan shall be submitted with or as part of the Preliminary Development Plan application.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/CN), as defined in the Apopka Land Development Code0.

Legal Description:

Lots 1-5: Lying in Section 28, Township 20 South, range 28 East, and Apopka North 7/11 Lot 1-5 recorded in Plat Book 7, Page, of the Public Records of Orange County, Florida. (Parcel Numbers 28-20-28-0220-00-010, 28-20-28-0220-00-020, 28-20-28-0220-00-030, 28-20-28-0220-00-040, 28-20-28-0220-00-050).

41 E. Lester Road: Commence at the Southeast corner of Section 28, Township 20 South, Range 28 East, Orange County, Florida; thence run South 87 degrees 59 minutes 49 seconds West along the South line of said Section 28 for a distance of 270.00 feet to a point; thence run North 01 degrees 45 minutes 16 seconds West for a distance of 30.00 feet to the POINT OF BEGINNING; thence run South 87 degrees 59 minutes 49 seconds West, along the North line of West Lester Road, a distance of 180.00 feet to a point; thence run South 01 degrees 45 minutes 16 West for a distance of 190.00 feet to a point; thence run North 80 degrees 05 minutes 34 seconds East for a distance of 182.05 feet to a point; thence run South 01 degrees 45 minutes 16 seconds East for a distance of 215 feet to the POINT OF BEGIINNING and close; being a point on the North Right of Way of West Lester Road. All of said Parcel lies in Southeast quarter of said Section 28.

Contains: 3.36 +/- Acres

ORDINANCE NO. 2630

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Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation. The Community Development Director shall not accept an application for a development plan until such time the property owner addresses school capacity enhancement review with Orange County Public Schools.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon adoption of Ordinance No. 2629

READ FIRST TIME: February 21, 2018

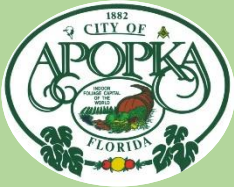
READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: January 26, 2018 and February 23, 2018



CITY OF APOPKA CITY COUNCIL

CONSENT AGENDA
 PUBLIC HEARING
 SPECIAL REPORTS
 OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Future Land Use Report
 Vicinity Map
 Adjacent Zoning Map
 Future Land Use Map
 Adjacent Uses Map
 Ordinance No. 2631

SUBJECT: ORDINANCE NO. 2631 - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – IGLESIA GETSEMANI, INC.

REQUEST: FIRST READING OF ORDINANCE NO. 2631 - COMPREHENSIVE PLAN – SMALL SCALE – FUTURE LAND USE AMENDMENT – IGLESIA GETSEMANI, INC.; FROM “COUNTY” COMMERCIAL (3.0 FAR) TO “CITY” COMMERCIAL (MAX. FAR 0.25); AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #: 06-21-28-7172-02-021)

SUMMARY:

OWNER/APPLICANT: Iglesia Getsemani, Inc.
LOCATION: 2575 W. Orange Blossom Trail
EXISTING USE: Place of worship and single-family residence
CURRENT ZONING: “County” C-1
DEVELOPMENT POTENTIAL: Maximum 15,612 sq. ft. commercial use (.25 floor area ratio)
PROPOSED ZONING: “City” C-1 (Commercial) (Note: this Future Land Use Map amendment request is being processed along with a request to change the Zoning Map designation from “County” C-1 to “City” C-1 and an application for annexation.)
TRACT SIZE: 1.43 +/- acres
MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT:
 EXISTING: Up to 187,350 sq. ft. commercial use. (“County” 3.0 FAR)
 PROPOSED: Up to 15,621 sq. ft. commercial use. (City” .025 FAR)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: The applicant intends to annex the existing house of worship and single family residence to unite this parcel with the abutting eastern parcel, which is located within the City’s jurisdiction and is used for a parking lot by the Church.

The annexation for the subject property was approved by the city council, for a second reading, on December 20, 2017 by ordinance 2613.

A request to assign a Future Land Use Designation of “Commercial” is compatible with the designations assigned to abutting properties. City parcels to the east share this same Future Land Use designation. The commercial uses act as a transition space between the residential neighborhood to the north and the arterial road, and an industrial park to the south. The FLUM application covers approximately 1.43 acres.

In conjunction with state requirements, staff has analyzed the proposed amendment and determined that adequate public facilities exist to support this land use change (see attached Land Use Report). Based on the findings of the Land Use report, the proposed FLUM amendment is compatible with the surrounding and nearby land uses and the character of the general area.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the subject property is consistent with the Commercial (max. 0.25 FAR) Future Land Use designation and the City’s proposed C-1 Zoning.

SCHOOL CAPACITY REPORT: Because this request represents a change to a non-residential future land use designation and zoning classification, school capacity determination by Orange County Public Schools is not required.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:
February 13, 2018 - Planning Commission (5:30 pm)
February 21, 2018 - City Council (7:00 pm) - 1st Reading
March 7, 2018 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:
January 26, 2018 -- Public Notice (Letters, Apopka Chief, Site Posting)
February 2, 2018 -- Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Future Land Use Designation of Commercial for the property owned by Iglesia Getsemani Inc.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed Future Land Use amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the change of Future Land Use Designation from “County” Commercial to “City” Commercial, subject to the findings of the Staff Report.

Accept the First Reading of Ordinance No. 2631 and Hold Over for Second Reading and Adoption on March 7, 2018.

Note: This item is considered Legislative. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

LAND USE REPORT

I. RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (County)	Low Density Residential (0-4 du/ac)	R-1	Single-family residence
East (County)	Low Density Residential (0-4 du/ac)	R-1	Woodlands
South (County)	Low Density Residential (0-4 du/ac)	P-D	Assisted Living Facility
West (City)	Commercial (max 0.25 FAR)	C-1	Strip Mall

II. LAND USE ANALYSIS

North: Abutting the subject property to the north is W. Highland Avenue and the Plymouth Landing subdivision.

West: West of the subject property is a series of commercial and single family residential properties in unincorporated orange county.

South: State Route 441, W. Orange Blossom Trail is south and adjacent to the subject property. Across from this arterial road is an industrial park

East: Abutting the subject property to the east are commercial properties, of which, two are owned by Iglesia Getsemani and are currently used for parking.

Therefore, staff supports the proposed future land use changes.

Other Information:

Wekiva River Protection Area: No

Area of Critical State Concern: No

DRI / FQD: No

JPA: The City of Apopka and Orange County entered into a Joint Planning Area (JPA) agreement on October 26, 2004. The subject property is located within “Core Area” of the JPA.

Wekiva Parkway and Protection Act: The proposed amendment has been evaluated against the adopted Wekiva Study Area Comprehensive Plan policies. While located within the Wekiva River Basin Study Area, the subject property is not located within the Protection Area. The proposed amendment is consistent with the adopted mandates and requirements. The proposed Future Land Use Map (FLUM) amendment has been reviewed against the best available data, with regard to aquifer and groundwater resources. The City of Apopka's adopted Comprehensive Plan addresses aquifer recharge and stormwater run-off through the following policies:

- Future Land Use Element, Policies 4.16, 14.4, 15.1, 16.2 and 18.2
- Infrastructure Element, Policies 1.5.5, 4.2.7, 4.4, 4.4.1, 4.4.2 and 4.4.3
- Conservation Element, Policy 3.18

Karst Features: The Karst Topography Features Map from the Florida Department of Environmental Protection shows that there are no karst features on this property.

Analysis of the character of the Property: The proposed amendment is consistent with the Comprehensive Plan, including Policy 3.1.i Commercial Future Land Use designation.

Analysis of the relationship of the amendment to the population projections: The proposed future land use designation for the Property is Commercial (max. FAR 0.25). Based on the housing element of the City's Comprehensive Plan, this amendment will not increase the City's future population.

CALCULATIONS:

ADOPTED (County designation): No impact on City population

PROPOSED (City designation): No impact on City population

Housing Needs: This amendment will not negatively impact the housing needs as projected in the Comprehensive Plan.

Habitat for species listed as endangered, threatened or of special concern: Per policy 4.1 of the Conservation Element, a habitat study is required for developments greater than ten (10) acres in size. This site is less than ten acres. A habitat study will not be required at the time of a development plan application.

Transportation: The City of Apopka is a Transportation Concurrency Exception Area. Refer to Chapter 3 of the City of Apopka 2010 Comprehensive Plan.

Sanitary Sewer Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 81 GPD/Capita ; 81 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 2,803 GPD

3. Projected total demand under proposed designation: 2,335 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 81 GPD/Capita

6. Projected LOS under proposed designation: 81 GPD/Capita

7. Improved/expansions already programmed or needed as a result if proposed amendment: None

Potable Water Analysis

1. Facilities serving the site; current LOS; and LOS standard: None; 177 GPD/Capita ; 177 GPD / Capita

If the site is not currently served, please indicate the designated service provider: City of Apopka

2. Projected total demand under existing designation: 3,737 GPD

3. Projected total demand under proposed designation: 3,114 GPD

4. Capacity available: Yes

5. Projected LOS under existing designation: 177 GPD / Capita

6. Projected LOS under proposed designation: 177 GPD / Capita

7. Improved/expansions already programmed or needed as a result of the proposed amendment: None

8. Parcel located within the reclaimed water service area: Yes

Solid Waste

1. Facilities serving the site: City of Apopka
2. If the site is not currently served, please indicate the designated service provider: City of Apopka
3. Projected LOS under existing designation: 37 lbs/ day
4. Projected LOS under proposed designation: 31 lbs / day
5. Improved/expansions already programmed or needed as a result of the proposed amendment: None

This initial review does not preclude conformance with concurrency requirements at the time of development approval.

Infrastructure Information

Water treatment plant permit number: CUP No. 3217

Permitting agency: St. John’s River Water Management District

Permitted capacity of the water treatment plant(s): 9.353 MGD

Total design capacity of the water treatment plant(s): 33.696 MGD

Availability of distribution lines to serve the property: Yes

Availability of reuse distribution lines available to serve the property: Yes

Drainage Analysis

1. Facilities serving the site: None
2. Projected LOS under existing designation: 100 year – 24 hour design storm
3. Projected LOS under proposed designation: 100 year – 24 hour design storm
4. Improvement/expansion: On site retention / detention ponds

Recreation

1. Facilities serving the site; LOS standard: City of Apopka Parks System ; 3 acre / 1000 capita
2. Projected facility under existing designation: N/A acres
3. Projected facility under proposed designation: N/A acres
4. Improvement/expansions already programmed or needed as a result of the proposed amendment: N/A

This initial review does not preclude conformance with concurrency requirements at the time of development approval.



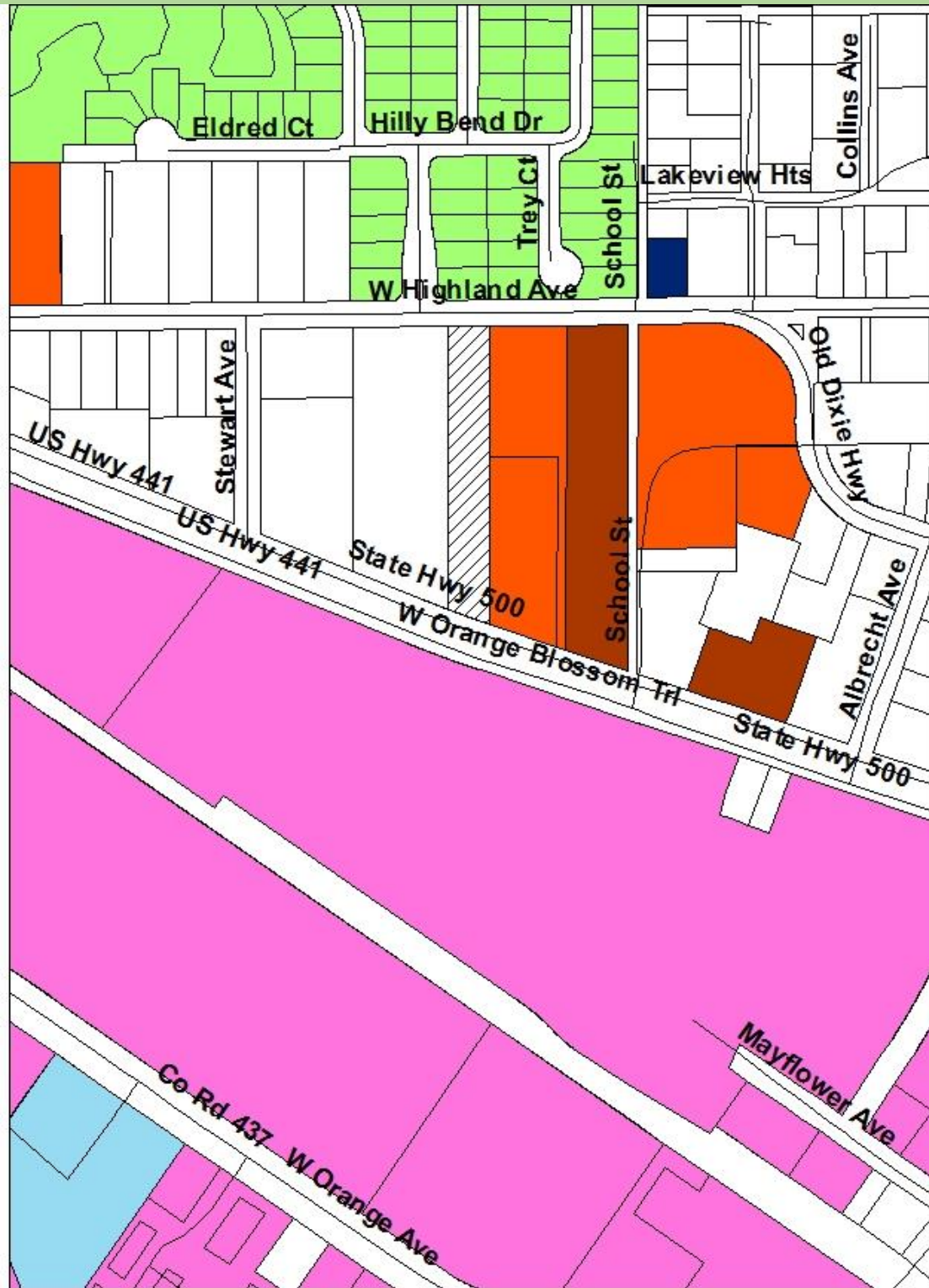
Iglesia El Getsemani, Inc.
1.43 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Commercial
To: "City" Commercial
Proposed Change of Zoning:
From: "County" C-1
To: "City" C-1
Parcel ID #: 06-21-28-7172-02-021

VICINITY MAP





ADJACENT ZONING MAP



Legend

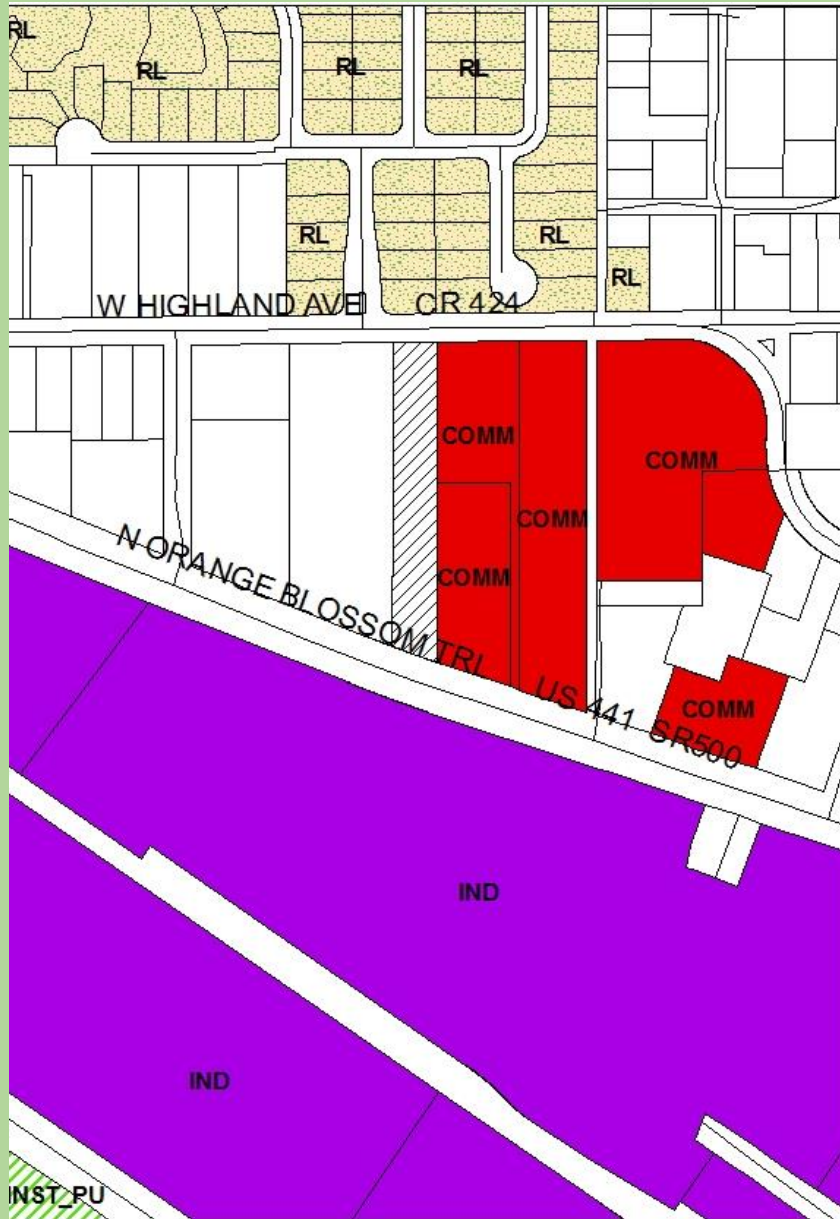
- Subject Property
- Parcels
- Roads

Zoning

- C-1
- C-3
- I-1
- PO/I
- R-2
- ZIP(r-1)



FUTURE LAND USE MAP



Legend

Subject Property

Parcels

Future Land Use

LAND_USE

COMM

IND

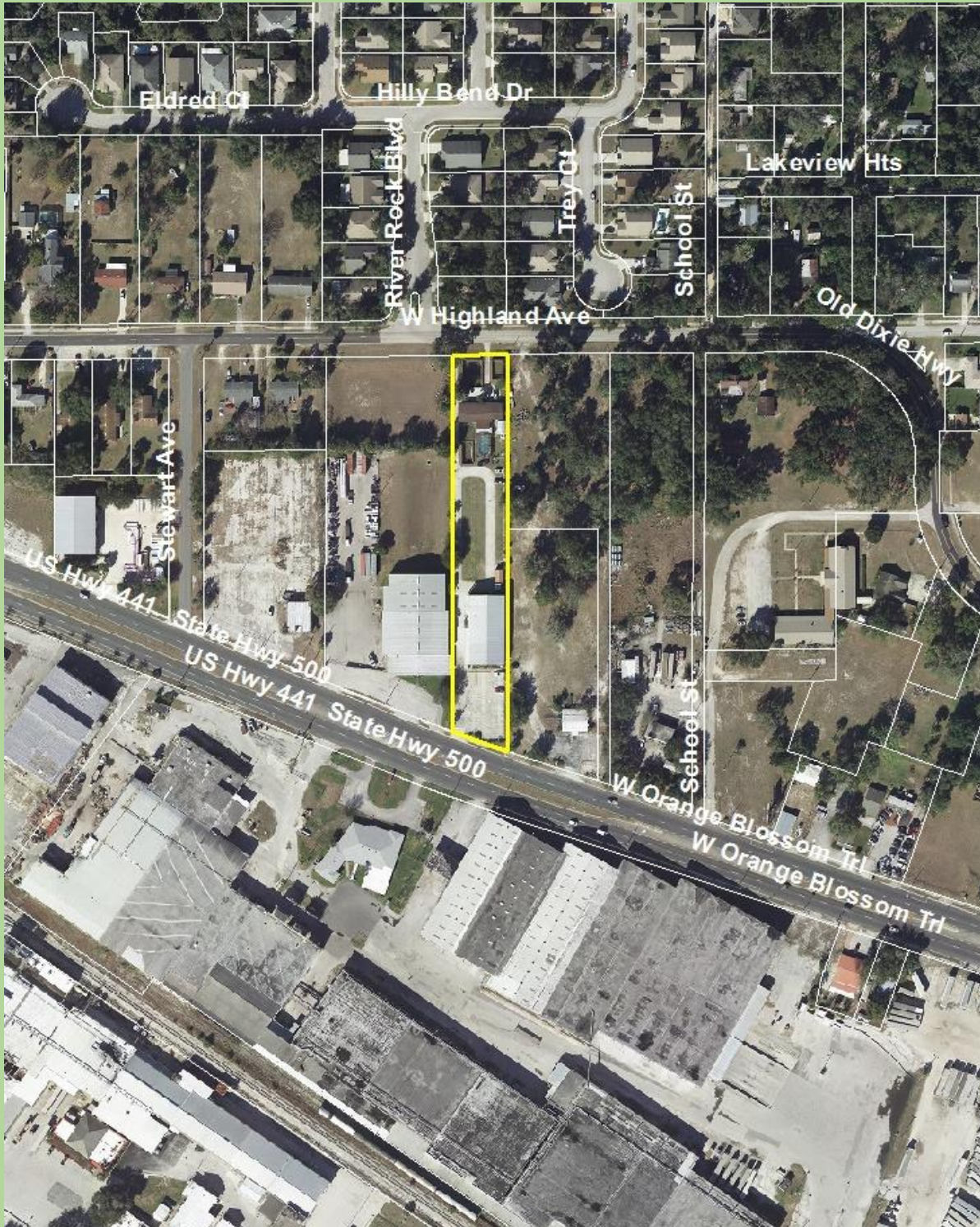
INST_PU

RL

Streets



ADJACENT USES MAP



ORDINANCE NO. 2631

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, AMENDING THE FUTURE LAND USE ELEMENT OF THE APOPKA COMPREHENSIVE PLAN OF THE CITY OF APOPKA; CHANGING THE FUTURE LAND USE DESIGNATION FROM “COUNTY” COMMERCIAL TO “CITY” COMMERCIAL FOR CERTAIN REAL PROPERTY GENERALLY LOCATED NORTH OF WEST ORANGE BLOSSOM TRAIL AND SOUTH OF HIGHLAND AVENUE, COMPRISING 1.43 ACRES MORE OR LESS, AND OWNED BY IGLESIA EL GETSEMANI, INC.; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, the City Council of the City of Apopka adopted the Apopka Comprehensive Plan by Ordinance No. 653 on October 2, 1991, pursuant to Section 163.3184, Florida Statutes and most recently amended it by Ordinance No. 2619 adopted on February 7, 2018; and

WHEREAS, the City of Apopka’s local planning agency (Planning Commission) has, in preparation of the amended version of the Apopka Comprehensive Plan, analyzed the proposed amendment pursuant to Chapter 163, Part II, F.S., found it to be consistent with the intent of the Apopka Comprehensive Plan, and held public hearings providing for full public participation.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. Purpose and Intent.

This Ordinance is enacted to carry out the purpose and intent of, and exercise the authority set out in, the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3184 and 163.3187, Florida Statutes.

Section II. Future Land Use Element.

Page 1-15 (Map 1-3) of the Future Land Use Element of the City of Apopka Comprehensive Plan, as most recently amended by Ordinance No. 2619, is amended in its entirety to change the land use from “County” Commercial (Max. FAR 3.0) to “City” Commercial (Max. 0.25 FAR), for certain real property located at 2575 W. Orange Blossom Trail, comprising 1.43 acres more or less, (Parcel No. 06-21-28-7172-02-021); as further described in Exhibit “A” attached hereto.

Section III. Applicability and Effect.

The applicability and effect of the City of Apopka Comprehensive Plan shall be as provided by the Local Government Comprehensive Planning and Land Development Regulation Act, Sections 163.3161 through 163.3215, Florida Statutes.

Section IV. Severability.

If any provision or portion of this Ordinance is declared by any court of competent jurisdiction to be void, unconstitutional, or unenforceable, then all remaining provisions and portions of this Ordinance shall remain in full force and effect.

Section V. The Community Development Director is hereby authorized to amend the Future Land Use to comply with this ordinance.

Section VI. Effective Date.

This Ordinance shall become effective upon adoption.

ADOPTED at a regular meeting of the City Council of the City of Apopka, Florida, this 7th day of March, 2018

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

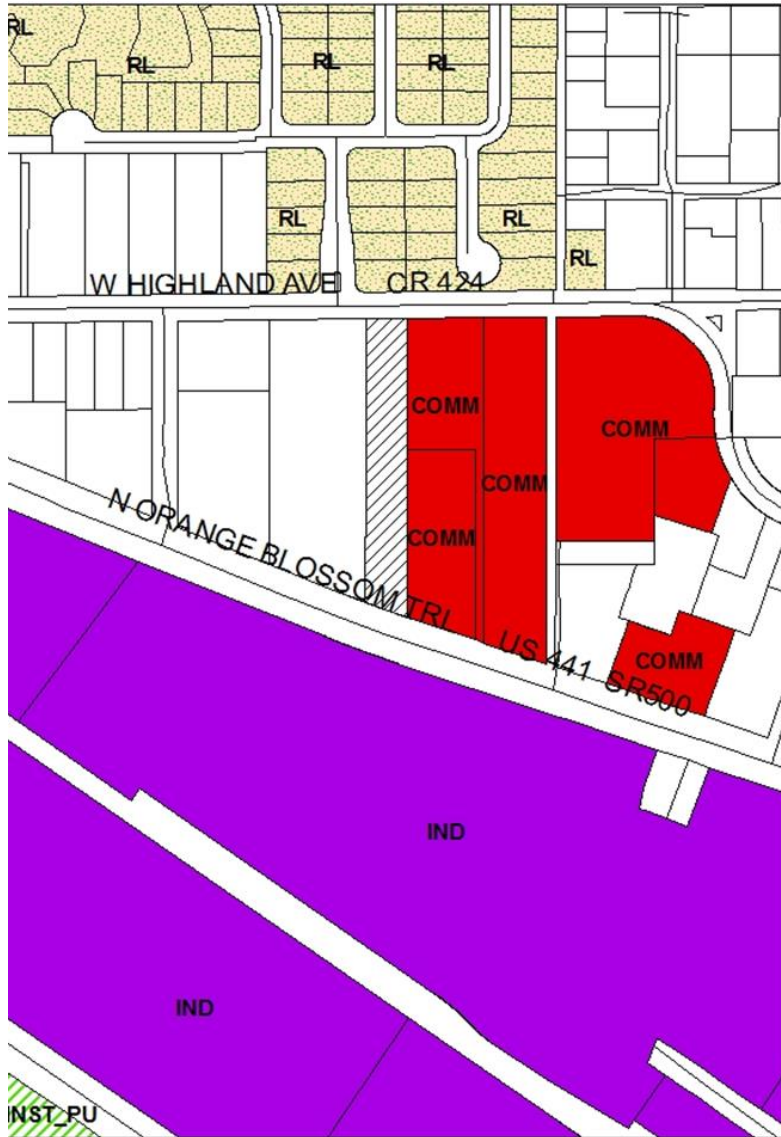
Linda Goff, City Clerk

DULY ADVERTISED FOR HEARING: January 2, 2018



EXHIBIT "A"

Iglesia Getsemani
1.43 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Commercial
To: "City" Commercial
Proposed Change of Zoning:
From: "County" C-1
To: "City" C-1
Parcel ID #: 06-21-28-7172-02-021



Legend

- Subject Property
- Parcels

Future Land Use

LAND_USE

- COMM
- IND
- INST_PU
- RL
- Streets



CITY OF APOPKA CITY COUNCIL

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: Ordinance

MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Ordinance No. 2632

SUBJECT: ORDINANCE NO. 2632 – CHANGE OF ZONING - IGLESIA GETSEMANI, INC.

REQUEST: FIRST READING OF ORDINANCE NO. 2632 – CHANGE OF ZONING FROM “COUNTY” C-1 (COMMERCIAL) TO “CITY” C-1 (COMMERCIAL) FOR PROPERTY OWNED BY IGLESIA GETSEMANI, INC.; AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #: 06-21-28-7172-02-021)

SUMMARY:

OWNER/APPLICANT: Iglesia Getsemani, Inc.

LOCATION: 2575 W. Orange Blossom Trail

EXISTING USE: Place of worship and single family residence

CURRENT ZONING: “County” C-1

DEVELOPMENT POTENTIAL: Maximum 15,612 sq. ft. office use (.25 floor area ratio)

PROPOSED ZONING: “City” C-1 (Commercial) (Note: this Change of Zoning request is being processed along with a request to amend the Future Land Use from “County” Commercial (3.0 FAR) to “City” Commercial (Max. 0.25 FAR) and a request for annexation.

TRACT SIZE: 1.43 +/- acres

MAXIMUM ALLOWABLE DEVELOPMENT UNDER ZONING DISTRICT: EXISTING: Up to 187,350 sq. ft. commercial use (“County” 3.0 FAR)
 PROPOSED: Up to 15,612 sq. ft. (“City” .025 FAR)

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer	Finance Director	Public Services Director
Commissioners	HR Director	Recreation Director
City Administrator	IT Director	City Clerk
Community Development Director	Police Chief	Fire Chief

ADDITIONAL COMMENTS: Presently, the subject property has not yet been assigned a “City” zoning category. The site is used as a church. The applicant is requesting the City assign a zoning classification of C-1 (Retail Commercial District) to the property. Abutting the eastern parcel line for the subject sites is a parcel that is owned by the same church, which is currently used as the parking lot.

The annexation of the subject property was reviewed and approved by the City Council, on December 20, 2017 through ordinance number 2613.

The place of worship, located on the subject property, is in unincorporated Orange County. The parking lot for this religious use is one parcel to the east, and the parcel is in the city limits. This parking lot has “City” C-1 zoning and Commercial Future Land Use. The existing zoning and Future Land Use designations of Iglesias’s parking lot will complement the zoning and Future Land Use designations for the place of worship.

A request to assign a change of zoning to C-1 (Retail Commercial District) is compatible to the adjacent zoning classifications and with the general character of abutting properties and surrounding area. The change of zoning request is being processed in conjunction with a future land use amendment from “County” Commercial to “City” Commercial.

COMPREHENSIVE PLAN COMPLIANCE: The existing and proposed use of the property is consistent with the proposed Office (Max. 25% Floor Area Ratio) Future Land Use designation and the proposed City C-1 (Retail Commercial District) zoning classification. Site development cannot exceed the intensity allowed by the Future Land Use policies.

SCHOOL CAPACITY REPORT: The proposed future land use change will result in an insignificant increase (less than 9) in the number of residential units which could be developed at the subject property. Therefore, the property is exempt from school capacity enhancement per the School Interlocal Planning Agreement.

ORANGE COUNTY NOTIFICATION: The JPA requires the City to notify the County 30 days before any public hearing or advisory board. The City properly notified Orange County on January 12, 2018.

PUBLIC HEARING SCHEDULE:

February 13, 2018 Planning Commission, (5:30 pm)
February 21, 2018 City Council, (7:00 pm) - 1st Reading
March 7, 2018 City Council, (1:30 pm) - 2nd Reading

DULY ADVERTISED:

January 26, 2018 - Public Notice (Letters, Apopka Chief, Site Posting)
February 2, 2018 - Public Notice (Apopka Chief)

RECOMMENDATION ACTION:

The **Development Review Committee** finds the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas, recommending approval of the proposed Change of Zoning from “County” C-1 to “City” C-1 for the property owned by Iglesia Getsemani, Inc., and located at 2575 W. Orange Blossom Trail.

The **Planning Commission**, at its meeting on February 13, 2018, found the proposed amendment consistent with the Comprehensive Plan and compatible with the character of the surrounding areas; and unanimously recommended approval of the proposed Change of Zoning from “County” C-1 to “City” C-1 for the property owned by Iglesia Getsemani, Inc.

Accept the First Reading of Ordinance No. 2632 and Hold Over for Second Reading and Adoption.

Note: This item is considered Quasi-Judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Residential Low	R-2	Single Family Home Subdivision
East (City)	Commercial	C-1	Parking Area/Commercial Structure
South (City)	Industrial	I-1	Industrial Park
West (County)	Commercial	C-3	Office/Warehouse

LAND USE & TRAFFIC

COMPATIBILITY:

The subject property fronts and is accessed by a county collector (W. Highland Road) and an arterial road (W. Orange Blossom Trail).

COMPREHENSIVE PLAN

COMPLIANCE:

The proposed C-1 zoning is consistent with the proposed Future Land Use designation, “Commercial” (Max. 25% FAR) and with the character of the surrounding area. Development Plans shall not exceed the density allowed in the adopted Future Land Use designation.

C-1 DISTRICT REQUIREMENTS:

Floor Area Ratio (%):	25% max.
Minimum Site Area:	10,000 sq. ft.
Minimum Lot Width	100 ft.
Setbacks:	Front: 10 ft. (From property line)
	Rear: 10 ft.
	Side: 10 ft.
	Corner 15 ft.

Based on the above zoning standards, the subject parcel does meet code requirements for the C-1 (Commercial) district.

ALLOWABLE USES:

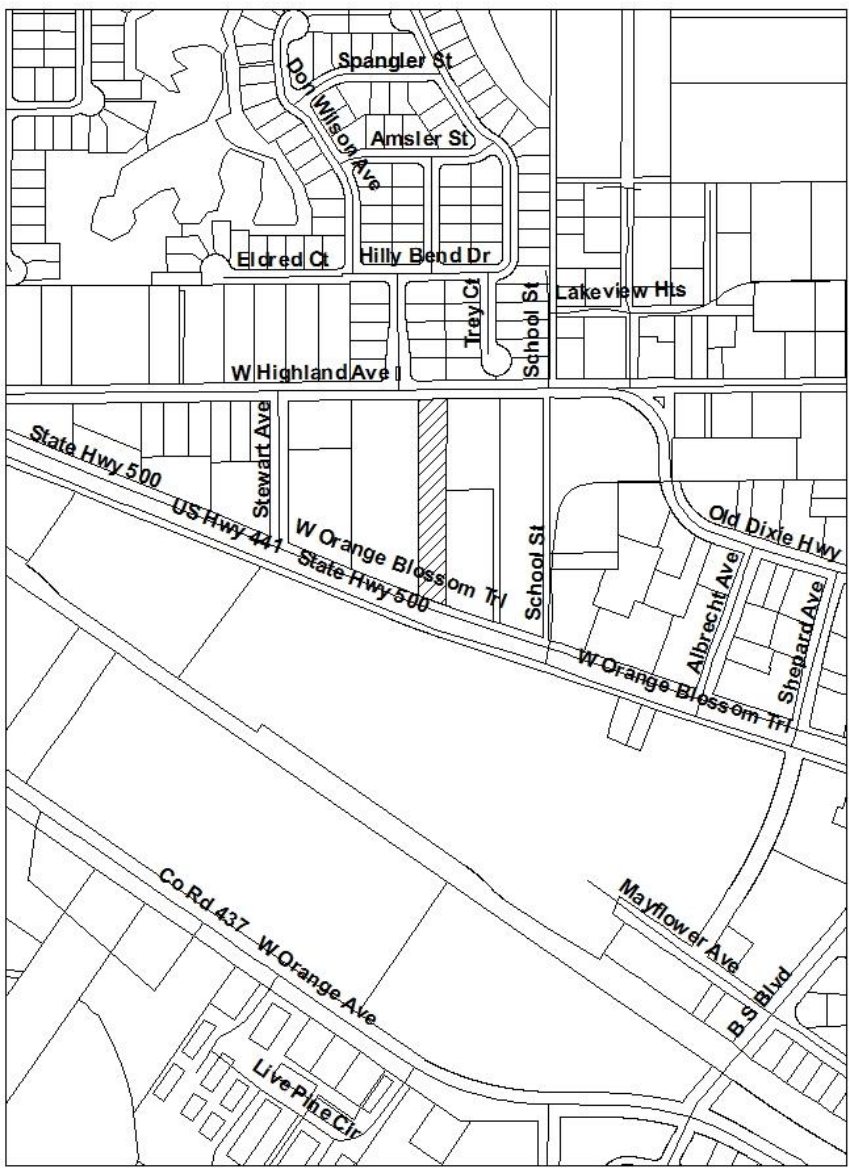
1. Any nonresidential permitted use in the PO/I or CN districts
2. Retail establishments
3. Banks, savings and loan and other financial institutions
4. Bowling alleys, skating rinks, billiard parlors and similar amusement centers, provided such activities and facilities are enclosed within a sound-proof building
5. Churches and schools

6. Day nurseries, kindergartens and other child care centers
7. Drive-in restaurants, with property lines no closer than 200 feet from any residential districts or uses
8. Florist shops, the products of which are displayed and sold wholly within an enclosed building
9. Hotels, motels, bed and breakfast facilities
10. Personal service establishments such as barbershops, beauty parlors, professional and other offices, parking garages and lots, laundry and dry cleaning pickup station, self-service coin-operated laundry and dry cleaning establishments, shoe shine and repair, tailoring, travel services, watch and clock repair and locksmiths, etc
11. Post offices
12. Restaurants
13. Theaters, enclosed in structures
14. Clubs and lodges
15. Funeral parlors, when the sole use of the facility shall be for funeral rites
16. Animal clinics for the treatment of small animals, excluding farm animals, but including those animals no larger than a dog, commonly kept as pets in a residence, provided the care, treatment or housing of such animals shall not be allowed on the outside
17. Other uses which are similar and compatible to the uses permitted herein which adhere to the intent of the district and which are not prohibited as specified in this code. Use determination shall be based upon the community development director's recommendation



Iglesia El Getsemani, Inc.
1.43 +/- acres
Proposed Small Scale Future Land Use Amendment:
From: "County" Commercial
To: "City" Commercial
Proposed Change of Zoning:
From: "County" C-1
To: "City" C-1
Parcel ID #: 12-21-28-6896-00-181

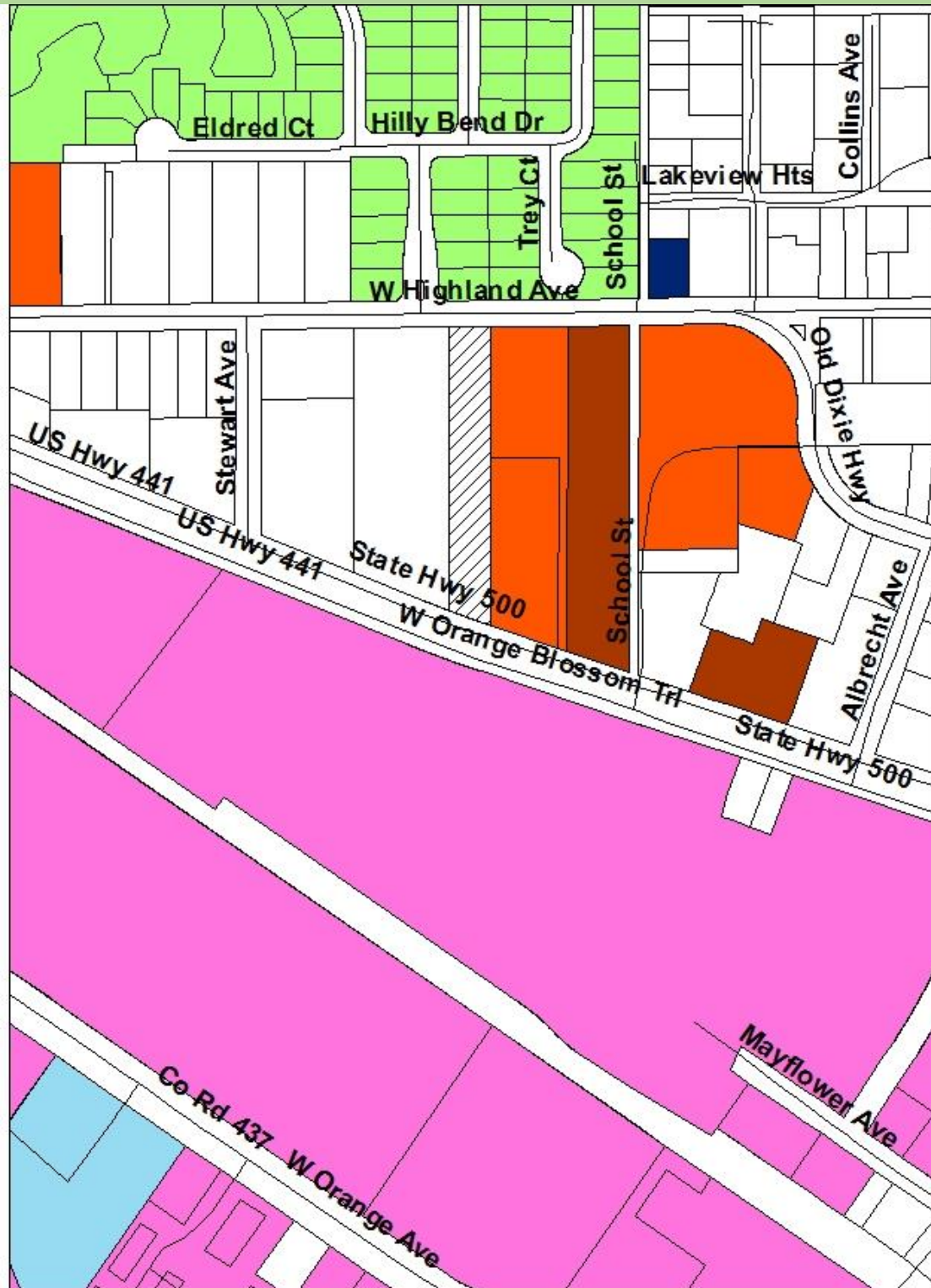
VICINITY MAP



Legend

-  Subject Property
-  Roads
-  Parcels

ADJACENT ZONING MAP

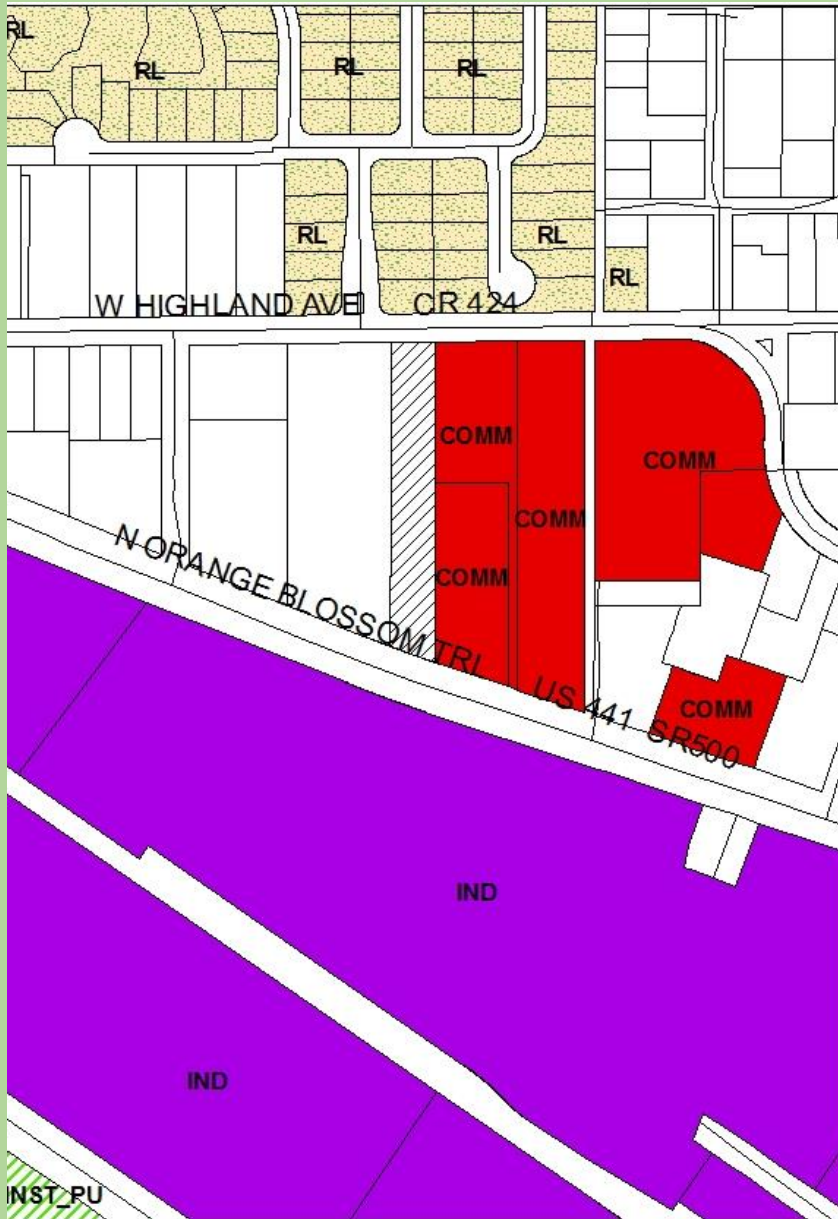


Legend

-  Subject Property
-  Parcels
-  Roads
- Zoning**
-  C-1
-  C-3
-  I-1
-  PO/I
-  R-2
-  ZIP(r-1)



FUTURE LAND USE MAP



Legend

- Subject Property
- Parcels

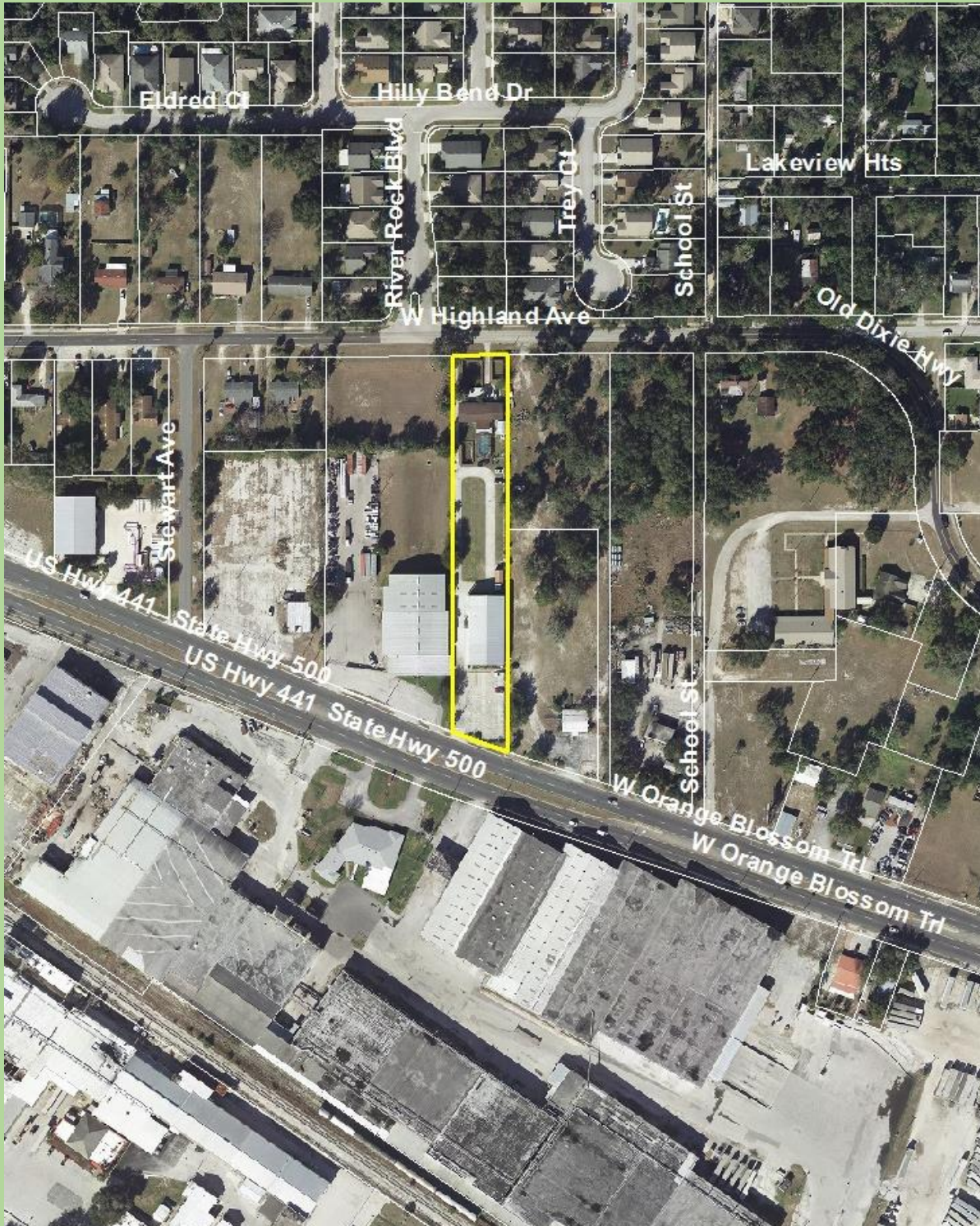
Future Land Use

LAND_USE

- COMM
- IND
- INST_PU
- RL
- Streets



ADJACENT USES MAP



ORDINANCE NO. 2632

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA CHANGING THE ZONING FROM “COUNTY” C-1 (COMMERCIAL) TO “CITY” C-1 (COMMERCIAL) FOR CERTAIN REAL PROPERTY LOCATED AT 2575 W. ORANGE BLOSSOM TRAIL, COMPRISING 1.43 ACRES, MORE OR LESS AND OWNED BY IGLESIA GETSEMANI; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, Iglesia Getsemani has requested a change in zoning on said property as identified in Section I of this ordinance; and

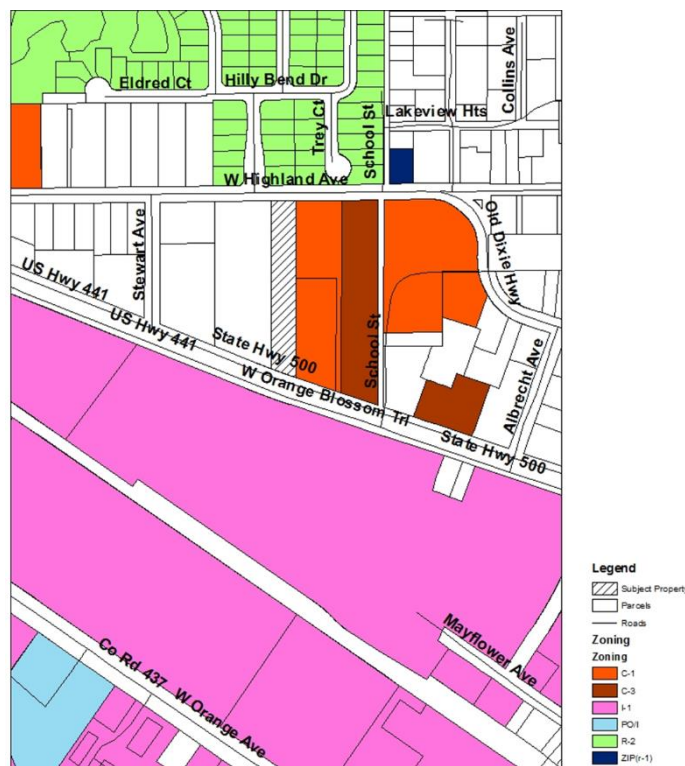
WHEREAS, the proposed C-1 zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby C-1, as defined in the Apopka Land Development Code.

Legal Description:

MAP OF PLYMOUTH B/17 THE W 100 FT OF S 300 FT OF LOT 2 N OF HWY BLK B & BEG NW COR LOT 2 RUN S 345.18 FT TH S 70 DEG E 100 FT TH N 380.25 FT TO N LINE LOT 2 TH W 94.21 FT TO POB BLK B



Parcel ID No: 06-21-28-7172-02-021
Contains: 1.43 +/- Acres

Section II. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section III. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section IV. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section V. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VI. That this Ordinance shall take effect upon the effective date the Small Scale Future Land Use Ordinance No. 2631.

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: February 2, 2018



**CITY OF APOPKA
CITY COUNCIL**

- CONSENT AGENDA
- PUBLIC HEARING
- SPECIAL REPORTS
- OTHER: PUD Master Plan

- MEETING OF: February 21, 2018
 FROM: Community Development
 EXHIBITS: Zoning Report
 Vicinity Map
 Adjacent Zoning Map
 Adjacent Uses Map
 Existing Use Map
 Ordinance No. 2637
 Ex. A – Phase 1 Master Plan
 Ex. B – Phase 1 Development Standards
 Ex. C – Phase 1 Landscape/Rec. Plan
 Ex. D – Phase 2 Master Plan
 Ex. E – Phase 2 Development Standards
 Ex. F – Phase 2 Landscape Plan

SUBJECT: ORDINANCE NO. 2637 - CHANGE OF ZONING – LAKE MARSHALL SUBDIVISION, PHASES 1 AND 2

REQUEST: FIRST READING OF ORDINANCE NO. 2637 – CHANGE OF ZONING – LAKE MARSHALL SUBDIVISION, PHASES 1 AND 2, FROM PLANNED UNIT DEVELOPMENT, MIXED-EC, AND I-1 TO PLANNED UNIT DEVELOPMENT (NEW MASTER PLAN); AND HOLD OVER FOR SECOND READING AND ADOPTION. (PARCEL ID #S: 28-21-08-0000-00-005; 28-21-08-0000-00-043; 28-21-17-0000-00-014)

SUMMARY:

OWNERS: City of Apopka, James D & Deborah M. Lyda, and Citizens Bank of Florida

APPLICANT: Appian Engineering, LLC

LOCATION: South of Marshall Lake and West of SR 451

EXISTING USE: Vacant

FLUM DESIGNATION: Low Density Residential, Mixed-Use

CURRENT ZONING: PUD (Planned Unit Development), Mixed-EC (Mixed Employment Center), and I-1 (Restricted Industrial)

PROPOSED DEVELOPMENT: 301 single family homes; developed in two phases

PROPOSED ZONING: Planned Unit Development (PUD)

TRACT SIZE: 154.18 +/- acres

FUNDING SOURCE: N/A

DISTRIBUTION

Mayor Kilsheimer
 Commissioners
 City Administrator
 Community Development Director

Finance Director
 HR Director
 IT Director
 Police Chief

Public Services Director
 Recreation Director
 City Clerk
 Fire Chief

SUMMARY: The subject property is approximately 154.17 acres in size and is zoned PUD (Planned Unit Development), Mixed-EC (Mixed Employment Center) and I-1 (Restricted Industrial), and a has a future land use designation of Low Density Residential and Mixed-Use. The subject property is comprised of three parcels and is located south of Marshall Lake and west of SR 451. The owners of the properties are the City of Apopka, James D. and Deborah M. Lyda, and Citizens Bank of Florida. Of the 154.17 acres, the City of Apopka owns 103 acres, Citizens Bank of Florida owns 39.9 acres, and Mr. and Mrs. Lyda own 11.28 acres. The proposed change of zoning to PUD is being requested by a representative of the prospective developer, Royal Oak Homes who proposes to construct 301 single-family units in two phases on the three parcels.

In 2005, 83.28 acres of the property now owned by the City was originally proposed to be developed into a 90 unit single-family subdivision known as Lake Marshall Preserve. This development received City Commission approval and subsequently was never developed. In 2007, the City of Apopka purchased the property. In 2017 after an advertised bid process, Royal Oak Homes agreed to purchase the property from the City contingent upon City Commission approval of a PUD rezoning and Preliminary Development Plan for the proposed development.

PROJECT DESCRIPTION: The PUD Master Plan and Preliminary Development Plan propose development of the property in two phases as a private, gated residential community with a total of 301 single-family homes. The subject property is located south of Marshall Lake and west of SR 451. The surrounding properties consist primarily of single-family residential, and agricultural uses. The development is proposed to be accessed via Johns Road. Adjacent to the west of the subject property is the Breckenridge subdivision. A gated access for emergency vehicle access will be provided between the two subdivisions. This access point will only be for emergency vehicles. In response to the Breckenridge homeowners association, pedestrian access will not be permitted between the two subdivisions.

A. Lot Size.

Typical Lot Width	Number of units	Percentage of development	Typical lot area (minimum size)
55-foot	119	39%	7,425 square feet
60-foot	149	50%	8,100 square feet
75-foot	33	11%	10,875 square feet
Total	301	100%	

The developer is proposing 55-foot, 60-foot and 75-foot wide lots with a minimum average lot area of 7,425 square feet for the 55-foot wide lots, 8,100 square feet for the 60-foot wide lots, and 10,875 square feet for the 75-foot wide lots. The minimum lot depth is proposed at 135-feet. The minimum living area is proposed at 1,800 square feet in Phase 1 and 1,600 square feet in Phase 2. Both phases of the subdivision will be accessed via Johns Road. Johns Road will terminate at the main entrance of the development, which will be accessed via a gate. The developer will be dedicating a 0.27 acre portion of right-of-way along Johns Road to the City. The subdivision will consist of private roads and infrastructure that is owned and maintained by the homeowners association.

B. Deviations. The applicant is requesting three deviations to the City’s required development standards. For a PUD master plan, a deviation from the City’s Land Development Code does not represent a variance but a development standard or zoning condition unique to and approved as part of the Plan

Unit Development zoning. PUD's are required to satisfy the requirements of the land Development Code unless the City Council finds that, based on substantial evidence, a proposed alternative development guideline is adequate to protect to the public health safety, and welfare. Any deviations must be consistent with the policies of the Comprehensive Plan.

1. Typical Lot Width Standard. The first deviation is to Land Development Code Section 2.02.18.D.11, which requires a minimum lot size within a PUD to be 70-feet in width, and to have a minimum site area of 7,500 square feet. In addition to 75-foot wide lots, the developer is proposing 60-foot and 55-foot wide lots with minimum lots sizes of 8,100 square feet and 7,425 square feet respectively.
 2. Garage Standards. The second deviation requested is from Section 3.2.1 of the Development Design Guidelines which requires front-entry garages to be setback a minimum of thirty (30) feet from the front property line. The Master Plan provides a 25-foot setback for front entry garages. Based on the shape of the property and the lot yield that the applicant has indicated is necessary for financial feasibility, a 25-foot garage setback will potentially result in a larger back yard .
 3. Architectural Design. The third deviation requested is from Section 3.2.1 of the Development Design Guidelines, an architectural appearance standard, which requires front entry garages to be flush with or behind the primary residential façade. The applicant is proposing three garage types – protruding, flush, and recessed. According to the applicant, side entry garages are not an option on 55-foot, 60-foot, and 75-foot wide lots. The applicant contends that providing the three garage options will help to break up the monotony of each home being offset the same distance from the sidewalk.
 4. Architectural Design. The fourth deviation requested is from Section 3.2.1 of the Development Design Guidelines, which requires front entry garages to comprise no more than 50 percent of the length of a residential structure's frontage. The applicant is requesting to permit all 60-foot wide lots with 50-foot wide homes to allow for the garage to cover a maximum of 60 percent of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer. The Development Design Guidelines allow a three car front-entry garage to comprise more than 50 percent of the front façade length if one (1) habitable floor is located over the majority of the garage, or (2) an architectural feature such as dormers that give an appearance of an occupied floor above the garage are provided. The prospective homebuilder is currently finalizing the architectural package for the development, and is not certain whether the homes with three (3) car garages will have a habitable floor over the majority of the garage or an architectural feature that gives the appearance of habitable space such as a dormer will be provided.
- C. Justification for Deviations\Development Standard. The following justifications are provided for the three deviations that are proposed.
1. An improved recreation amenities package is proposed. The recreation package will consist of a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. In addition the developer is dedicating a tract in Phase 1 adjacent to Marshall Lake as a Community Lake Park that will have a community dock, and a 1.03 acre open space tract across the street from this park. In the Phase 2 area, two tracts will be dedicated as a park/o

space area, and a 15.12 acre Conservation area will also be dedicated.

2. Protection of Environmentally Sensitive Areas and Preservation of Open Space. The PUD master plan protects wetlands within the northwest and northeast corners of the project boundaries, containing approximately 19 acres within Tracts “K” and “L” of Phase I. Open space is preserved through approximately 15 acres within Tract “P” of Phase 2.
3. Abutting Site Characteristics. Fifty-foot landscape buffer. An existing 50-foot landscape buffer occurs along the western and northern project line within the Breckenridge plat. This buffer is noted as a tract on the Breckenridge plat. The Lake Marshall development will not be visible from the homes within Breckenridge and separation between the larger lots in Breckenridge and the smaller lots within Lake Marshall PUD will be provided. S.R. 451 (tollway) abuts a significant portion of the eastern project line, making the area less attractive for large lot residential development.
4. No other residential neighborhoods will be impacted by the development. The development abuts SR 451 to the east and Marshall Lake to the north. As mentioned above, a 50-foot wide landscape buffer will separate the Breckenridge development from the subject property. The development will not visible from the surrounding properties.
5. The Master Plan proposes a diversity of lot sizes-- (55-feet, 60-feet, and 75-feet lot widths).
6. Access to the site is limited because of lake and wetland systems to the north and an odd shape parcel to the south. The southern end of the property is also blocked by a wetland system. Therefore, access to the property is severely limited, leaving Johns Road as the only reasonable access point without impacting environmentally sensitive areas.
7. The Master Plan proposes a gated residential community with private roads and infrastructure.

TRANSPORTATION: The traffic generated by this project will cause a reduced level of service at the intersection of Johns Road and Bradshaw Road and the intersection of Bradshaw Road and Ocoee Apopka Road. The intersection of Johns Road and Bradshaw Road will require the following roadway improvements to be constructed prior to the issuance of the 87th Certificate of Occupancy for Phase 1, Phase 2, or a combination of Phase 1 and Phase 2:

1. A 260- foot northbound left turn lane;
2. A 185-foot southbound right turn lane; and
3. A 150-foot eastbound turn lane.

The intersection of Bradshaw Road and Ocoee Apopka Road is projected to experience significant delays at the stop sign with the addition project traffic and committed traffic on both roadways. While existing conditions do not warrant a signal, the intersection may meet warrants in the future. It is recommended the Developer be required to conduct a signal warrant analysis for the intersection of Bradshaw Road and Ocoee Apopka Road prior to the issuance of the 251st Certificate of Occupancy. If it is determined a signal is warranted, then a proportionate share value shall be coordinated between the City and the Developer to design and install a traffic signal at the intersection within a year of the issuance of the final Certificate of Occupancy.

Occupancy.

PUD RECOMMENDATIONS: That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be single-family residential uses.
- B. Terms of Expiration for this PUD shall be as follows:

If a Final Development Plan associated with the PUD district has not been approved by the City within three years, and site development has not commenced within four years after approval of these Master Plan provisions, the approval of the Master Plan provisions will expire. At such time, the City Council may:

- 1. Permit a single six-month extension for submittal of the required Final Development Plan;
- 2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Plan provisions and any conditions of approval; or
- 3. Rezone the property to a more appropriate zoning classification.

COMPREHENSIVE PLAN COMPLIANCE: The proposed use of the property is consistent with the Low Density Residential and Mixed-Use Future Land Use designations and is consistent with the Land Development Code.

SCHOOL CAPACITY REPORT: An application for School capacity determination and a mitigation agreement has been submitted to OCPS by the application. A plat will not be recorded by the City until such time the School Board approves a school capacity mitigation agreement.

ORANGE COUNTY NOTIFICATION: Pursuant to Section 7 of the Joint Planning Area agreement, notification to Orange County is not required for a rezoning application as the subject parcels are not adjacent to unincorporated Orange County.

PUBLIC HEARING SCHEDULE:

February 13, 2018 - Planning Commission (5:30 pm)
February 21, 2018 - City Council (7:00 pm) - 1st Reading
March 7, 2018 – City Council (1:30 pm) - 2nd Reading

DULY ADVERTISED:

February 2, 2018 – Public Notice; Letter, Poster
February 23, 2018 – Public Notice (Apopka Chief)

RECOMMENDED ACTION:

The **Development Review Committee** finds the proposed rezoning to Planned Unit Development (PUD), PUD Master Plan, and the Preliminary Development Plan consistent with the Comprehensive Plan and Land Development Code and recommends approval of the Lake Marshall Subdivision Planned Unit Development Master Plan and Preliminary Development Plan.

The **Planning Commission**, at its meeting held on February 13, 2018, found the proposed rezoning consistent with the Comprehensive Plan and Land Development Code; and recommended approval (4-2) of the rezoning of the subject parcels from Planned Unit Development (PUD), Mixed-EC (Mixed Employment Center) and I-1 (Restricted Industrial) to Planned Unit Development/Residential (PUD); and approval of the PUD Master Plan\ Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits.

Recommended Motion: Accept the First Reading of Ordinance 2637 and Hold it Over for Second Reading and Adoption on March 7, 2018; and approval of the PUD Master Plan\ Preliminary Development Plan based on the findings and facts presented in the staff report and exhibits.

Note: This item is considered quasi-judicial. The staff report and its findings are to be incorporated into and made a part of the minutes of this meeting.

ZONING REPORT

RELATIONSHIP TO ADJACENT PROPERTIES:

<i>Direction</i>	<i>Future Land Use</i>	<i>Zoning</i>	<i>Present Use</i>
North (City)	Low Density Residential (0-5 du/ac)	R-3	Marshall Lake, Lake Doe Estates subdivision
East (City)	Industrial, None assigned (SR 451 right-of-way)	I-1, no zoning assigned	Existing agricultural use (John’s Nursery), SR 451 right-of-way
South (City)	Low Density Residential (0-5 du/ac), Commercial (max 0.25 FAR)	R-1A, C-1	Vacant property, SR 451 retention pond
West (City)	Low Density Residential (0-5 du/ac)	R-1A, R-2, PUD	Breckenridge residential subdivision buffer tract, vacant property

LAND USE &

TRAFFIC COMPATIBILITY:

The property is accessed via Johns Road, which connects to South Bradshaw Road. Internal streets are private and are proposed to be owned and maintained by a yet to be established homeowners association. Future land use designations and zoning categories assigned to properties to the north, south, east, and west are predominantly residential.

COMPREHENSIVE

PLAN COMPLIANCE:

The proposed PUD zoning is compatible with policies set forth in the Comprehensive Plan.

ALLOWABLE

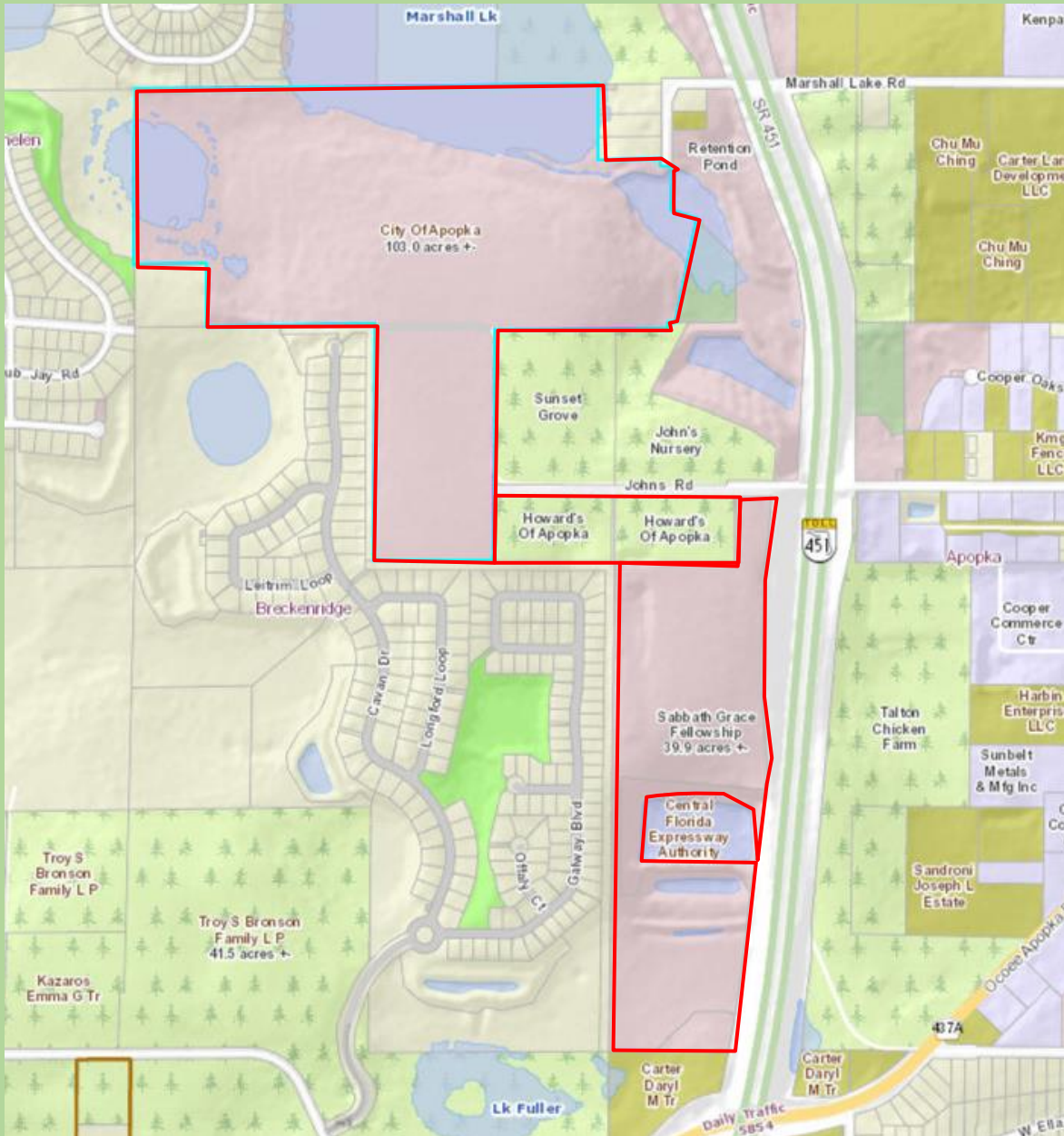
USES:

Single-family residential uses as set forth within the Planned Unit Development Master Plan.

Project: LAKE MARSHALL SUBDIVISION, PHASES 1 & 2
Owned by: City of Apopka; James D. & Deborah Lyda; and Citizens Bank of Florida
Located: North and south of Johns Road; west of SR 451
Parcel ID#s: 08-21-28-0000-00-005; 08-21-28-0000-00-043; 17-21-28-0000-00-014

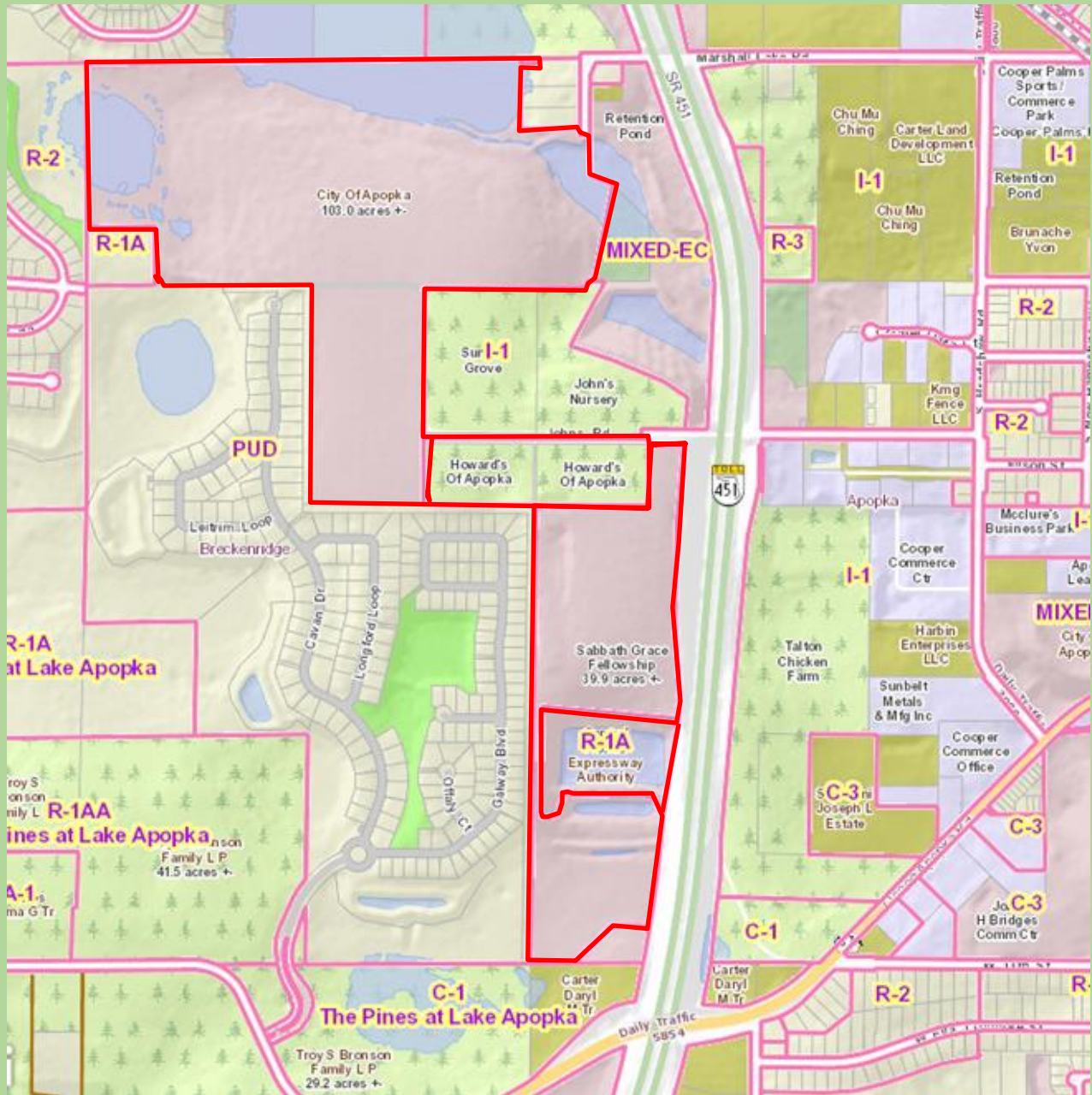


VICINITY MAP

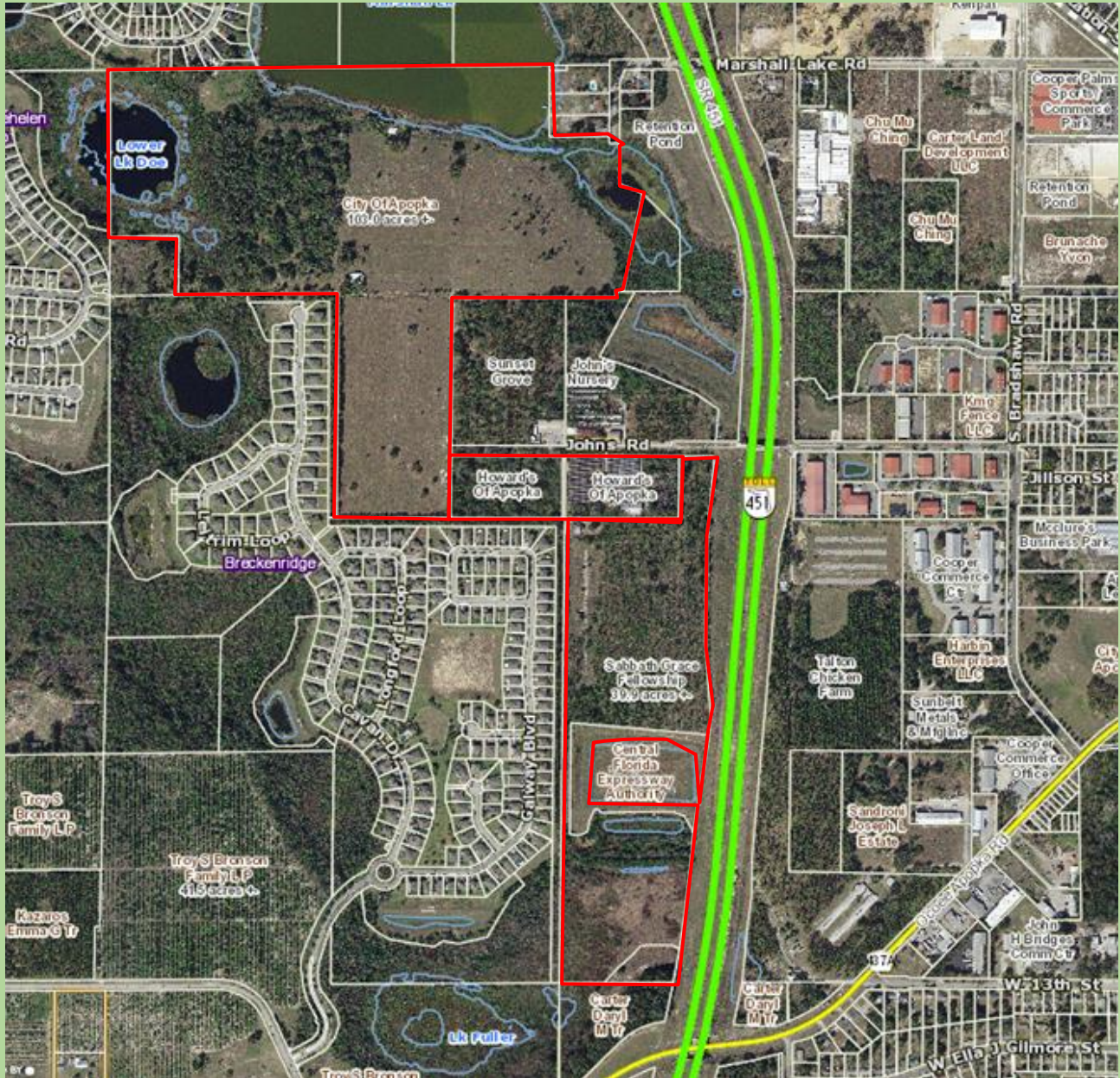




ADJACENT ZONING



ADJACENT USES



ORDINANCE 2637

AN ORDINANCE OF THE CITY OF APOPKA, FLORIDA, CHANGING THE ZONING FROM PUD (PLANNED UNIT DEVELOPMENT), MIXED-EC (MIXED EMPLOYMENT CENTER), AND I-1 (RESTRICTED INDUSTRIAL) TO PLANNED UNIT DEVELOPMENT/RESIDENTIAL (PUD) FOR CERTAIN REAL PROPERTY GENERALLY LOCATED SOUTH OF MARSHALL LAKE AND WEST OF SR 451, COMPRISING 154.18 ACRES MORE OR LESS, AND OWNED BY THE CITY OF APOPKA, JAMES D. & DEBORAH M. LYDA, AND CITIZENS BANK OF FLORIDA; PROVIDING FOR DIRECTIONS TO THE COMMUNITY DEVELOPMENT DIRECTOR, SEVERABILITY, CONFLICTS, AND AN EFFECTIVE DATE.

WHEREAS, to manage the growth, the City of Apopka, Florida, finds it in the best interest of the public health, safety and welfare of its citizens to establish zoning classifications within the City; and

WHEREAS, The City of Apopka, James D. & Deborah M. Lyda, and Citizens Bank of Florida has requested a change in zoning on said property as identified in Section I of this ordinance; and

WHEREAS, the proposed Planned Unit Development (PUD) zoning has been found to be consistent with the City of Apopka Comprehensive Plan, and the City of Apopka Land Development Code.

NOW THEREFORE, BE IT ORDAINED, by the City Council of the City of Apopka, Florida, as follows:

Section I. That the zoning classification of the following described property be designated as Planned Unit Development (PUD), as defined in the Apopka Land Development Code, and with the following Master Site Plan provisions subject to the following zoning provisions:

- A. The uses permitted within the PUD district shall be: single family homes and associated accessory uses or structures consistent with land use and development standards established for the PUD district except where otherwise addressed in this ordinance and the Master Site Plan.
- B. Development of the property shall occur consistent with the Master Site Plan set forth in Exhibit "A". If a development standard or zoning regulation is not addressed within Exhibit "A", development shall comply with the PUD zoning standards set forth in the Land Development Code. Where any development standard conflicts between the Lake Marshall Master Plan/Preliminary Development Plan and the Land Development Code, the Master Plan/Preliminary Development Plan shall prevail. Any proposed revision to the Master Plan/Preliminary Development Plan shall be evaluated and processed pursuant to Section 2.02.18.N. (Master Plan revision), LDC.
- C. If a Final Development Plan associated with the PUD district has not been approved by the City within three years after approval of these Master Plan provisions, the approval of the Master Plan/Preliminary Development Plan provisions will expire. At such time, the City Council may:
 1. Permit a single six-month extension for submittal of the required Final Development Plan;

2. Allow the PUD zoning designation to remain on the property pending resubmittal of new Master Site Plan provisions and any conditions of approval; or
 3. Rezone the property to a more appropriate zoning classification.
- D. The intersection of Johns Road and Bradshaw Road will be significantly impacted by the addition of traffic generated by this project. Design plans for the following improvements will be included in the Final Development Plan for Phase 2 of the development. The roadway improvements shall be constructed by the developer prior to the issuance of the 87th Certificate of Occupancy for Phase 1, Phase 2, or a combination of Phase 1 and Phase 2, according to City standards:
1. A 260-foot northbound left turn lane;
 2. A 185-foot southbound right turn lane; and
 3. A 150-foot eastbound turn lane.
- E. The intersection of Bradshaw Road and Ocoee Apopka Road will be significantly impacted by the addition of traffic generated by this project. Prior to the issuance of the 251st Certificate of Occupancy, the developer will conduct a signal warrant analysis for the intersection of Bradshaw Road and Ocoee Apopka Road. Since Ocoee-Apopka Road is an Orange County controlled road and Bradshaw Road is a City controlled road, the City, in cooperation with the County, will determine if a signal is warranted. If a signal is warranted, then a proportionate share value shall be coordinated between the City and the Developer to design and install a traffic signal at the intersection within a year of the issuance of the final Certificate of Occupancy.

Section II. That the zoning classification of the following described property, being situated in the City of Apopka, Florida, is hereby Planned Unit Development (PUD/R-1A) as defined in the Apopka Land Development Code.

Legal Description: Attachment "A"

Section III. That the zoning classification is consistent with the Comprehensive Plan of the City of Apopka, Florida.

Section IV. That the Community Development Director, or the Director's designee, is hereby authorized to amend, alter, and implement the official zoning maps of the City of Apopka, Florida, to include said designation.

Section V. That if any section or portion of a section or subsection of this Ordinance proves to be invalid, unlawful, or unconstitutional, it shall not be held to invalidate or impair the validity, force or effect of any other section or portion of section or subsection or part of this ordinance.

Section VI. That all ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section VII. That this Ordinance shall take effect upon the date of adoption.

READ FIRST TIME: February 21, 2018

READ SECOND TIME
AND ADOPTED: March 7, 2018

Joseph E. Kilsheimer, Mayor

ATTEST:

Linda Goff, City Clerk

DULY ADVERTISED: February 2, 2018
February 23, 2018

ATTACHMENT "A"
LEGAL DESCRIPTION

Parcel ID Nos.: 28-21-08-0000-00-005; 28-21-08-0000-00-043; 28-21-17-0000-00-014
Combined Acreage: 154.18 +/- Acres

OCPA PARCEL ID 28-21-08-0000-00-005:

FIRST AMERICAN TITLE FILE NUMBER: 2037-3759052 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LESS: BEGIN AT SOUTHWEST CORNER OF NORTHEAST 1/4 OF SOUTHWEST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 343 FEET, EAST 400 FEET, SOUTH 343 FEET, WEST 400 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

PARCEL 2:

WEST 1/2 OF THE NORTHWEST 1/4 OF SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

AND

BEGIN AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 89°33'48" EAST 950 FEET; THENCE SOUTH 00°30'54" WEST 35 FEET; THENCE SOUTH 89°33'48" WEST 950 FEET; THENCE NORTH 00°30'54" EAST 35 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

AND

THE EAST HALF OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4, ALSO THAT PORTION OF THE SOUTH 12 ACRES OF THE WEST HALF OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4 SOUTH OF CENTER LINE OF LAKE, LESS THE FOLLOWING DESCRIBED PARCEL: BEGIN AT THE SOUTHEAST CORNER OF THE WEST HALF OF THE NORTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN SOUTH 89°33'48" WEST ALONG THE SOUTH LINE OF SAID WEST HALF 328.92 FEET; THENCE NORTH 11°16'48" EAST 580 FEET TO THE CENTRAL LINE OF LAKE; THENCE SOUTH 44°53'28" EAST ALONG CENTRAL LINE OF LAKE, 306.45 FEET TO THE EAST LINE OF SAID WEST HALF; THENCE SOUTH ALONG EAST LINE OF SAID WEST HALF 350 FEET TO POINT OF BEGINNING, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, AND COMMENCE EAST 1/4 CORNER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN THENCE SOUTH 89°30'41" WEST 1070.14 FEET, SOUTH 00°18'05" WEST 388.7 FEET TO THE POINT OF BEGINNING; RUN THENCE SOUTH 00°18'05" WEST 25 FEET; THENCE SOUTH 89°30'41" WEST 247.92 FEET; THENCE SOUTH 00°21'52" WEST 115.13

FEET; THENCE NORTH 89°30'41" EAST 307.92 FEET; THENCE NORTH 00°18'05" EAST 140.13 FEET; THENCE WEST TO POINT OF BEGINNING, LESS SOUTH 383.7 FEET OF THE NORTH 413.7 FEET OF THE EAST 100 FEET OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA. LESS ANY PORTION OF THE ABOVE DESCRIPTION LYING WITHIN THE BOUNDARY OF LAKE MARSHALL DRIVE AS DESCRIBED IN QUIT CLAIM DEED RECORDED IN OFFICIAL RECORDS BOOK 3726, PAGE 2538, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ALSO LESS AND EXCEPT FROM THE ABOVE DESCRIPTIONS, ANY PORTION LYING WITHIN THE PROPERTY DESCRIBED IN STIPULATED ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5461, PAGE 2470, OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

OCPA PARCEL ID 28-21-08-0000-00-043

FIRST AMERICAN FILE NUMBER: 2037-3736852 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

AND

THE WEST 1/2 OF THE SOUTHEAST 1/4 OF THE SOUTHEAST 1/4, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

OCPA PARCEL ID 28-21-17-0000-00-014

FIRST AMERICAN FILE NUMBER: 2037-3736840 - THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE SOUTH HALF (S 1/2) OF THE NORTHWEST QUARTER (NW 1/4) OF THE NORTHEAST QUARTER (NE 1/4) OF NORTHEAST QUARTER (NE 1/4) OF SECTION SEVENTEEN (17) TOWNSHIP TWENTY-ONE SOUTH OF RANGE TWENTY-EIGHT EAST, ORANGE COUNTY, FLORIDA.

AND

ORDINANCE NO. 2637

PAGE 6

THE NORTH HALF (N ½) OF THE NORTHWEST QUARTER (NW ¼) OF NORTHEAST QUARTER (NE ¼) OF NORTHEAST QUARTER (NE ¼) OF SECTION SEVENTEEN (17) TOWNSHIP TWENTY-ONE SOUTH OF RANGE TWENTY EIGHT EAST, ORANGE COUNTY, FLORIDA

AND

THAT PART OF THE SOUTHEAST QUARTER (SE ¼) OF NORTHEAST QUARTER (NE ¼) OF SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING WEST OF STATE ROAD 429 AND LESS PORTION THEREOF DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

THAT PART OF THE EAST HALF (E ½) OF THE NORTHEAST QUARTER (NE ¼) OF NORTHEAST QUARTER (NE ¼), SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING WEST OF STATE ROAD 429 RIGHT OF WAY, AND LESS PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

THE SOUTHWEST QUARTER (SW ¼) OF THE NORTHEAST QUARTER (NE ¼), OF THE NORTHEAST QUARTER (NE ¼), OF SECTION 17, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; LESS PORTION DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

AND

ALL THAT PORTION OF THE EAST HALF ½ (E½) OF THE SOUTHEAST QUARTER (SE ¼) OF THE SOUTHEAST QUARTER (SE¼) OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LYING SOUTH OF THE COUNTY CLAY ROAD AS NOW EXISTING, IN ORANGE COUNTY, FLORIDA; AND LYING WEST OF LANDS DESCRIBED IN ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 5487, PAGE 1547 AND LESS RIGHT OF WAY DESCRIBED IN OFFICIAL RECORDS BOOK 1981, PAGE 295, PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PLANNED UNIT DEVELOPMENT MASTER PLAN / PRELIMINARY DEVELOPMENT PLAN FOR LAKE MARSHALL SUBDIVISION PHASE 1 CITY OF APOPKA, FLORIDA

OCA PARCEL ID# 28-21-08-0000-00-005 & 28-21-08-0000-00-043

PROJECT TEAM:

CITY OF APOPKA
CITY OF APOPKA
APOPKA, FL 32750

OWNER
JAMES D. & DEBORAH M. LYDA
240 PARK WILLOW BLVD
APOPKA, FL 32712

ENGINEER
AVIANT PROPERTIES, INC.
CONTACT: MARYANN A. VONSTETIN, P.E.
240 S. MAIN STREET, SUITE 400
APOPKA, FL 32750
PHONE: (407) 891-8200
FAX: (407) 891-8200
EMAIL: MARYANN@AVIANTPROPERTIES.COM

DESIGNER
APPIAN ENGINEERING, LLC
2221 LEE ROAD-SUITE 17
WINTER PARK, FL 32789
PHONE: (407) 960-5868
FAX: (407) 960-5868
EMAIL: LCL@APPIANENGINEERING.COM

CONSULTANTS
P.E.C. SURVEYING & MAPPING, LLC
2100 ALAPPA TRAIL, SUITE 20
CORVALLIS, FL 32926
PHONE: (407) 324-8889
EMAIL: DW@PECENGINEERING.COM

LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECTURE
CONTACT: JAMES L. BELL
4401 BARCELONA LANE
WINTER PARK, FL 32789
PHONE: (407) 884-2414
EMAIL: JLBELL@LANSAP.COM

ENVIRONMENTAL ENGINEER
ENVIRONMENTAL ENGINEER: MARK AUSTLEY
3000 W. PARKWAY
LAPODKA, FL 32711
PHONE: (407) 891-8200
EMAIL: MARK@PECENGINEERING.COM

ENVIRONMENTAL CONSULTANT
BIO-TECH CONSULTING
ENVIRONMENTAL ENGINEER: MARK AUSTLEY
3000 W. PARKWAY
LAPODKA, FL 32711
PHONE: (407) 891-8200
EMAIL: MARK@PECENGINEERING.COM

LEGAL DESCRIPTION PER PEC - SURVEYING AND MAPPING, LLC DATE: JUNE 2017

OCA PARCEL ID# 28-21-08-0000-00-005
FIRST AMERICAN F.I.T. NUMBER: 2017-379602

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

PARCEL 1:

NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, LESS: BEGIN AT SOUTHWEST CORNER OF NORTHEAST 1/4 OF SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST; RUN NORTH 31.1 FEET, EAST 40.1 FEET, SOUTH 141.1 FEET, WEST 40.1 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

PARCEL 2:

WEST 1/2 OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

AND

BEGIN AT THE NORTHWEST CORNER OF THE EAST HALF OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN NORTH 80°33'48" EAST 400.187 FEET, THENCE SOUTH 80°39'54" WEST 13.1 FEET, THENCE SOUTH 89°33'48" WEST 400 FEET, THENCE NORTH 80°39'54" EAST 35 FEET TO POINT OF BEGINNING, ORANGE COUNTY, FLORIDA.

AND

THE EAST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4, ALSO THAT PORTION OF THE SOUTH 1/2 ACRES OF THE WEST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 SOUTH OF CENTRAL LINE OF LAKE, LESS THE FOLLOWING UNDEVELOPED PARCELS: BEGIN AT THE SOUTHWEST CORNER OF THE WEST HALF OF THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN SOUTH 89°39'54" WEST ALONG THE SOUTH LINE OF SAID WEST HALF 120.1 FEET, THENCE NORTH 17°05'48" EAST 80.1 FEET TO THE CENTRAL LINE OF LAKE, THENCE SOUTH 40°15'24" EAST ALONG CENTRAL LINE OF LAKE, 166.41 FEET TO THE EAST LINE OF SAID WEST HALF; THENCE SOUTH ALONG EAST LINE OF SAID WEST HALF 100.1 FEET TO POINT OF BEGINNING, SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA; AND COMMENCE EAST 1/4 CORNER OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, RUN THENCE SOUTH 89°39'54" WEST 102.1 FEET, SOUTH 80°40'00" WEST 106.1 FEET TO THE POINT OF BEGINNING, RUN THENCE SOUTH 80°40'00" WEST 21 FEET, THENCE SOUTH 89°39'54" WEST 203.1 FEET, THENCE SOUTH 80°25'24" WEST 114.1 FEET, THENCE NORTH 89°39'54" EAST 80.1 FEET, THENCE NORTH 89°39'54" EAST 144.1 FEET, THENCE WEST 1/2 POINT OF BEGINNING, LESS SOUTH 35.1 FEET OF THE NORTH 41.1 FEET OF THE EAST 100.1 FEET TO THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LESS ANY PORTION OF THE ABOVE DESCRIPTION LYING WITHIN THE BOUNDARY OF LAKE MARSHALL DRIVE AS SHOWN IN GOVT. C.A. 144002 RECORDED IN OFFICIAL RECORDS BOOK 3106, PAGE 2206 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

ALSO LESS AND EXCEPT FROM THE ABOVE DESCRIPTIONS, ANY PORTION LYING WITHIN THE PROPERTY DESCRIBED IN WITHIN LEE ROAD ORDER OF TAKING RECORDED IN OFFICIAL RECORDS BOOK 3461, PAGE 2506 OF THE PUBLIC RECORDS OF ORANGE COUNTY, FLORIDA.

PARCEL 3:

THE NORTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 AND THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA.

OCA PARCEL ID# 28-21-08-0000-00-043

FIRST AMERICAN F.I.T. NUMBER: 2017-379603

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE COUNTY OF ORANGE, STATE OF FLORIDA, AND IS DESCRIBED AS FOLLOWS:

THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

AND

THE WEST 1/2 OF THE SOUTHWEST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 21 SOUTH, RANGE 28 EAST, ORANGE COUNTY, FLORIDA, LYING SOUTH OF MASEK ROAD NOW KNOWN AS JOHNS ROAD.

PUD MASTER PLAN/PDP NARRATIVE:

PHASE 1 OF THE LAKE MARSHALL SUBDIVISION IS MADE UP OF TWO PARCELS LOCATED OFF OF JOHN'S ROAD, WEST OF SR 451, WITH A PHYSICAL ADDRESS OF JOHN'S ROAD AND 705 JOHN'S ROAD, APOPKA, FL 32750 WITHIN THE CITY OF APOPKA. THE SUBJECT PROPERTIES HAVE A TOTAL COMBINED AREA OF APPROXIMATELY 114.9 AC. OF WHICH 10.1 AC WILL BE DEVELOPED DURING PHASE 1 OF THE PROPOSED SUBDIVISION. THE SUBJECT PARCELS ARE CURRENTLY BEING USED AS VACANT RESIDENTIAL AND CONTAINER NURSERY. THE PROPOSED DEVELOPMENT IS A RESIDENTIAL SUBDIVISION WITH 177 INDIVIDUAL SINGLE FAMILY LOTS, ASSOCIATED ROADWAYS AND RETENTION/DRAINAGE AREAS. THE POTABLE WATER, RECLAIMED WATER AND WASTEWATER WILL BE PROVIDED BY CITY OF APOPKA UTILITIES. A FEE SIMPLE OWNERSHIP, SUCH AS A HOME OWNERS ASSOCIATION, WILL BE CREATED FOR ALL LANDS EXCLUSIVE OF THE INDIVIDUAL LOTS TO CONTROL AND MAINTAIN THE LAND. THE JOHN'S ROAD PUBLIC RIGHT-OF-WAY WILL ALSO BE IMPROVED AS PART OF PHASE 1 OF THE LAKE MARSHALL DEVELOPMENT.

UTILITY PROVIDERS

WATERSEWER:
CITY OF APOPKA
748 E. 15th STREET
APOPKA, FL 32750
CONTACT: BRUNN BRIDGEMAN
(407) 703-1351, EXT. 685

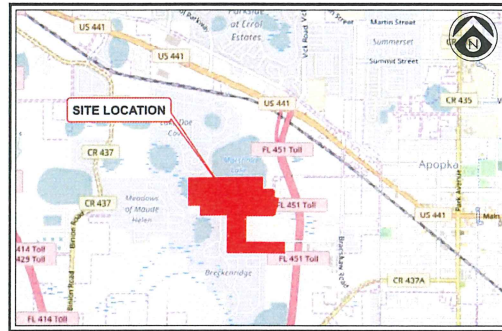
SOLID WASTE COLLECTION:
CITY OF APOPKA
124 E. MAIN STREET
APOPKA, FLORIDA 32750
PHONE: (407) 703-1790

GAS:
LAKE APOPKA NATURAL GAS DISTRICT
1220 WINTER GARDEN VINLAND ROAD
ORLANDO, FL 32780
CONTACT: ANTONIO GERSON
PHONE: (407) 656-2734

TELEPHONE:
CENTURY LINK
33 N. MAIN STREET, ROOM 144
WINTER GARDEN, FL 32789
CONTACT: TY LARLEE
PHONE: (407) 814-5250

CABLE:
CHARTER COMMUNICATIONS (A.K.A. SPECTRUM)
3750 ALL AMERICAN BOULEVARD
ORLANDO, FLORIDA 32818
CONTACT: MARYVON USRY, JR.
PHONE: (407) 552-8509

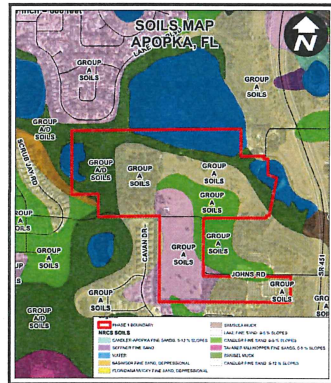
POWER:
FLORIDA POWER & LIGHTS
2801 25TH STREET NORTH
ORLANDO, FLORIDA 32750
CONTACT: MEGAN VONSTETINA
PHONE: (215) 809-9394



VICINITY MAP
SCALE: 1" = 2000'



AERIAL MAP
SCALE: 1" = 1000'



SOILS MAP
SCALE: 1" = 1000'



FEMA FLOOD MAP
SCALE: 1" = 1000'

SHEET INDEX

- C1.0 COVER SHEET
- C1.1 OVERALL EXISTING CONDITIONS
- C1.2 EXISTING CONDITIONS - NORTHWEST
- C1.3 EXISTING CONDITIONS - NORTH
- C1.4 EXISTING CONDITIONS - SOUTH
- C1.5 EXISTING CONDITIONS - SOUTHWEST
- C2.0 MASTER PLAN
- C2.1 MASTER PLAN DESIGN STANDARDS
- C3.0 OVERALL GEOMETRY PLAN
- C3.1 GEOMETRY PLAN - NORTHWEST
- C3.2 GEOMETRY PLAN - NORTH
- C3.3 GEOMETRY PLAN - NORTHWEST
- C3.4 GEOMETRY PLAN - SOUTH
- C3.5 GEOMETRY PLAN - SOUTHWEST
- C3.6 CURVE & LOT DATA TABLE
- C3.7 CROSS SECTIONS
- C3.8 FIRE TRUCK ROUTE PLAN
- C3.9 LIGHTING PLAN
- C4.0 OFFSITE ROW IMPROVEMENTS PLAN
- C4.1 OFFSITE ROADWAY SECTIONS
- C5.0 OVERALL UTILITY & DRAINAGE PLAN
- C5.1 UTILITY & DRAINAGE PLAN - NORTHWEST
- C5.2 UTILITY & DRAINAGE PLAN - NORTH
- C5.3 UTILITY & DRAINAGE PLAN - NORTHWEST
- C5.4 UTILITY & DRAINAGE PLAN - SOUTH
- C5.5 UTILITY & DRAINAGE PLAN - SOUTHWEST
- C6.0 OVERALL PAVING & GRADING PLAN
- C6.1 PAVING & GRADING PLAN - NORTHWEST
- C6.2 PAVING & GRADING PLAN - NORTH
- C6.3 PAVING & GRADING PLAN - NORTHWEST
- C6.4 PAVING & GRADING PLAN - SOUTH
- C6.5 PAVING & GRADING PLAN - SOUTHWEST
- L5-01 TREE MITIGATION PLAN
- L5-02 TREE MITIGATION PLAN
- L5-03 TREE MITIGATION PLAN
- L5-04 TREE MITIGATION PLAN
- L5-05 LANDSCAPE SITE PLAN
- L5-06 LANDSCAPE SITE PLAN
- L5-07 LANDSCAPE SITE PLAN
- L5-08 LANDSCAPE SITE PLAN

SHEET 1 OF 42
NOT FOR CONSTRUCTION



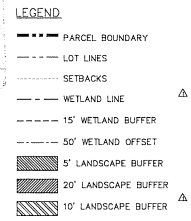
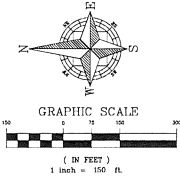
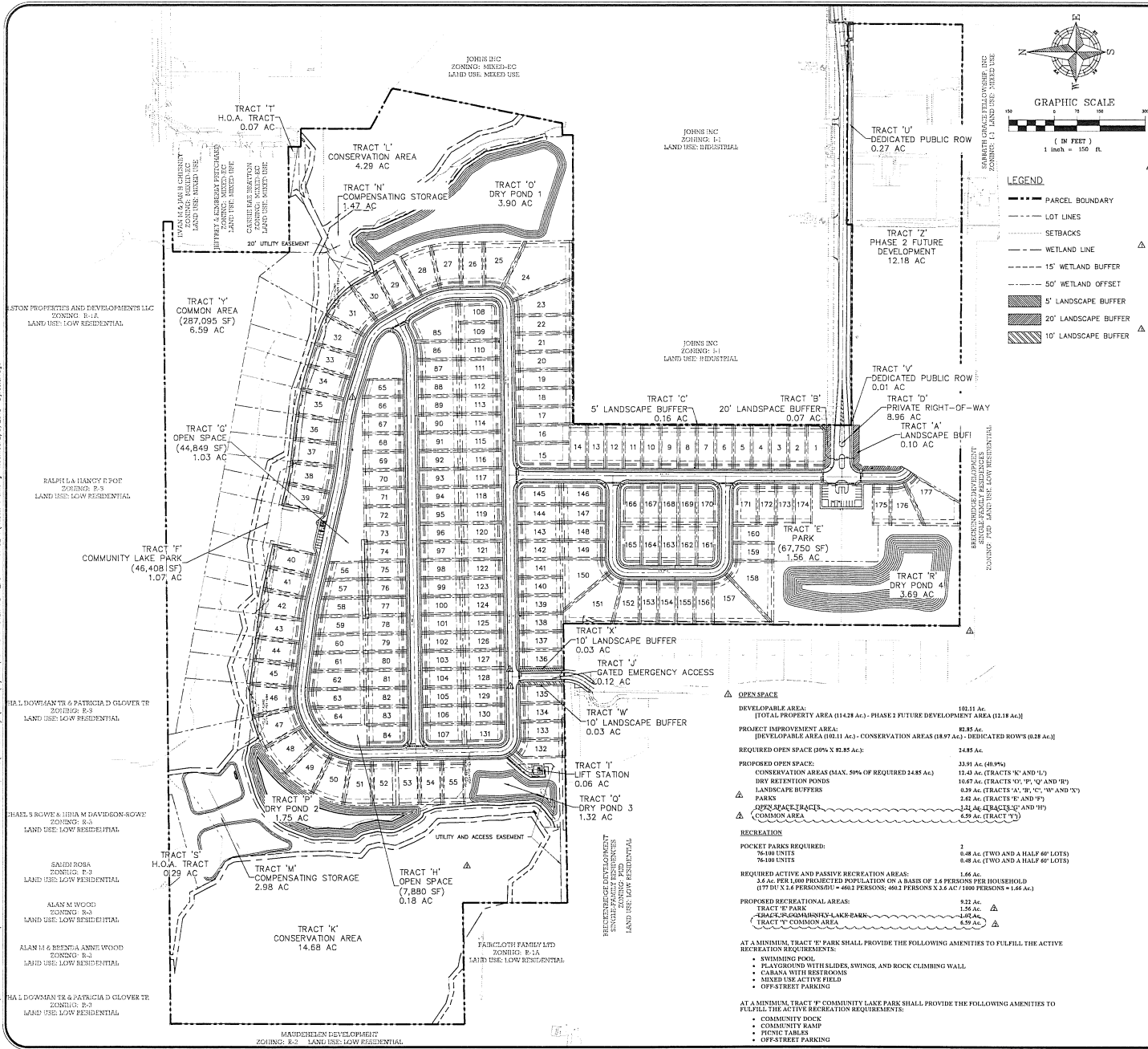
2221 LEE ROAD, SUITE 17
WINTER PARK, FLORIDA 32789
(407) 960-5868

BOARD OF PROFESSIONAL
ENGINEERING CERTIFICATE
NO. 32174

PERMITS REQUIRED

AGENCY	PERMIT TYPE	DATE APPLIED	DATE APPROVED	APPROVAL NO.
CITY OF APOPKA	SITE PERMIT			
S.J.R.W.M.D.	ENV			
F.D.E.P.	WATER			
F.D.E.P.	WASTEWATER			
F.E.W.A.	CLOWR-F			

REV	DATE	DESCRIPTION
1	10/24/17	CITY OF APOPKA COMMENTS DATED 10/24/17 THRU 10/27/17
2	01/18/18	CITY OF APOPKA COMMENTS DATED 01/18/18
3	01/31/18	CITY OF APOPKA COMMENTS DATED 01/31/18
4		
5		
6		
7		
8		
9		
10		



SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-005
PARCEL AREA:	102.11 AC
PROJECT IMPROVEMENT AREA:	82.85 AC
FEMA FLOOD INSURANCE RATE MAP FLOOD ZONE:	X & AE (EL. = 70.3)
FIRM PANEL: 22060C020 DATED SEPT. 25, 2009	
FEMA FLOOD PRONE AREA (AREA BELOW FEV 70.3):	39.72 AC
EXISTING WETLAND:	21.09 AC
PROPOSED WETLAND IMPACTS:	0.47 AC
PROPOSED DEDICATED CONSERVATION TRACTS:	18.97 AC
WETLAND AREA TO REMAIN:	16.78 AC
PROVIDED 15' WETLAND BUFFER:	1.03 AC
ADDITIONAL AREA TO REMAIN UNALTERED:	1.16 AC
PROPOSED CONSERVATION EASEMENT:	4.52 AC
WETLAND AREA TO REMAIN:	3.83 AC
PROVIDED 15' WETLAND BUFFER:	0.68 AC
EXISTING ZONING:	PUD
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH:	R-3
SOUTH:	PUD
EAST:	I-1, MIXED-EC
WEST:	PUD, R-2
EXISTING FUTURE LAND USE (PLU):	LOW RESIDENTIAL
ADJACENT FUTURE LAND USE:	LOW RESIDENTIAL, LOW RESIDENTIAL, INDUSTRIAL, MIXED USE, LOW RESIDENTIAL
PROPOSED MINIMUM LOT REQUIREMENTS:	
MINIMUM LOT AREA:	66' LOTS: 4,100 SF (*) 78' LOTS: 10,875 SF
MINIMUM LOT WIDTH:	60' FL
MINIMUM LOT DEPTH:	135' FL (*) 145' FL
MAXIMUM BUILDING HEIGHT:	35' FL
SETBACKS:	
FRONT YARD:	25' FL
SIDE YARD:	5' FL
REAR YARD:	25' FL
CORNER SIDE YARD:	15' FL
	N/A

SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-043
PARCEL AREA:	11.18 AC
AREA DEDICATED TO PUBLIC RIGHT-OF-WAY:	0.3 AC
EXISTING ZONING:	MIXED-EC
PROPOSED ZONING:	PUD
ADJACENT ZONING:	
NORTH:	I-1
SOUTH:	PUD, I-1
EAST:	I-1
WEST:	PUD
EXISTING FUTURE LAND USE (PLU):	MIXED USE
ADJACENT FUTURE LAND USE:	INDUSTRIAL, LOW RESIDENTIAL, INDUSTRIAL, MIXED USE, LOW RESIDENTIAL
PROPOSED MINIMUM LOT REQUIREMENTS:	NO LOTS PROPOSED IN THIS PHASE

OVERALL SITE DATA:

OCFA - PARCEL ID #:	28-21-08-0000-00-005
28-21-08-0000-00-043	
TOTAL PROPERTY AREA:	114.28 AC
PROJECT IMPROVEMENT AREA:	82.85 AC
DEDICATED PUBLIC RIGHT-OF-WAY AREA:	0.18 AC
CONSERVATION AREA:	18.97 AC
PHASE 2 FUTURE DEVELOPMENT AREA:	12.18 AC

RECREATION

POCKET PARKS REQUIRED:

76-00 UNITS	2	0.8 AC (TWO AND A HALF 60' LOTS)
76-00 UNITS	2	0.8 AC (TWO AND A HALF 60' LOTS)

REQUIRED ACTIVE AND PASSIVE RECREATION AREAS:

2.6 AC PER 1,000 PROJECTED POPULATION ON A BASIS OF 2.6 PERSONS PER HOUSEHOLD	1.66 AC
(171 @ 1.6 PERSONS = 273.6 PERSONS; 460 PERSONS @ 2.6 AC = 1,066 PERSONS = 1.66 AC)	

PROPOSED RECREATION AREAS:

TRACT 'E' PARK	9.22 AC
TRACT 'F' COMMUNITY LAKE PARK	1.56 AC
TRACT 'V' COMMON AREA	1.40 AC
TRACT 'V' COMMON AREA	0.59 AC

AT A MINIMUM, TRACT 'E' PARK SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- SWIMMING POOL
- PLAYGROUND WITH SLIDES, SWINGS, AND ROCK CLIMBING WALL
- CABANA WITH REST ROOMS
- MIXED USE ACTIVE FIELD
- OFF-STREET PARKING

AT A MINIMUM, TRACT 'F' COMMUNITY LAKE PARK SHALL PROVIDE THE FOLLOWING AMENITIES TO FULFILL THE ACTIVE RECREATION REQUIREMENTS:

- COMMUNITY DOCK
- COMMUNITY RAMP
- PICNIC TABLES
- OFF-STREET PARKING

CIVIL ENGINEERING & LAND PLANNING

APPLAN ENGINEERING LLC.

MASTER PLAN
PUD MASTER PLAN/PDP
LAKE MARSHALL SUBDIVISION - PHASE 1
CITY OF APOPKA, FLORIDA

SCALE: 1" = 150'

PROJECT: ROT-001

SHEET: C2.1

DATE: 7/7/2017

DESIGNED BY: S. SIERRA-DE

CHECKED BY: O. SANCHEZ

DATE: 7/7/2017

28-21-08-0000-00-005

28-21-08-0000-00-043

114.28 AC

82.85 AC

0.18 AC

18.97 AC

12.18 AC

APPLAN ENGINEERING

28-21-08-0000-00-005

28-21-08-0000-00-043

114.28 AC

82.85 AC

0.18 AC

18.97 AC

12.18 AC

28-21-08-0000-00-005

28-21-08-0000-00-043

114.28 AC

82.85 AC

0.18 AC

18.97 AC

12.18 AC

28-21-08-0000-00-005

28-21-08-0000-00-043

114.28 AC

82.85 AC

0.18 AC

18.97 AC

12.18 AC

SHEET 9 OF 42
NOT FOR CONSTRUCTION

LAKE MARSHALL PHASE 1 MASTER PLAN DEVELOPMENT STANDARDS

A. Design Standards

1. LOT CRITERIA:

Description	Single-Family Detached 60' Lot	Single-Family Detached 75' Lot
Lot Setbacks ⁽¹⁾		
Front Porch ⁽²⁾	15'	15'
Front	25'	25'
Rear	20'	20'
Side	5'	7.5'
Side Corner	15'	N/A
Garage	25' ⁽⁶⁾	25' ⁽⁶⁾
Accessory Structure Rear	5'	5'
Lot Dimensions		
Min. Average Lot Area	8,100 SF ⁽⁵⁾	10,875 SF
Min. Lot Width	60' ⁽³⁾	75' ⁽⁴⁾
Min. Lot Depth	135' ⁽⁵⁾	145'
Max. Lot Coverage	75%	75%
Max. Building Height	35'/2 Stories	35'/2 Stories
Min. Living Area	1,800 SF	1,800 SF

(1) See sheet titled "Curve and Lot Data Table" for depiction of conceptual typical site plans.

(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.

(3) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 60' minimum.

(4) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 75' minimum.

(5) Lots 56, 57, and 65 have lot areas of 7,326 SF, 8,192 SF, and 7,838 SF, respectively, and minimum lot depths of 114', 129', and 122', respectively. See sheet titled "Curve and Lot Data Table" of the Lake Marshall Subdivision Phase 1 PUD Master Plan/Preliminary Development Plan for lot sizing and setback details for these lots.

(6) A deviation from the City of Apopka's requirement of a 30' garage setback is hereby requested.

B. Architectural, Buildings, and Accessory Structures

1. Architectural design shall meet the intent of City of Apopka Development Design Guidelines or unless otherwise stated.
2. All lots shall have detached single family homes.
3. Each individual single-family home shall have a minimum of two (2) bedrooms.
4. All lots shall have attached minimum two (2) car garages.
5. A deviation from the City of Apopka Development Design Guidelines is hereby requested to allow for side-entry, flush, recessed, and protruding garage styles throughout the Lake Marshall Subdivision.

6. Mail delivery for all lots within both phases of the Lake Marshall Subdivision shall occur at mail kiosks with cluster mailbox units. Approval from the Postmaster of the mail kiosks and their location shall be submitted prior to approval of the Final Development Plan.
7. AC condenser units & similar equipment placed in the side yard area shall be screened with landscaping or opaque fencing.
8. Storage sheds or similar storage facilities shall not be allowed.
9. Swimming pools shall be allowed on all lots.
 - a) Swimming Pools must be in-ground type. Above Ground Pools are prohibited.
 - b) Swimming pools and decks are prohibited from projecting beyond the side wall facade.
10. Screen enclosures over swimming pools and their respective deck area with non-metal or non-vinyl roofs shall be allowed.
 - a) Screening shall be dark mesh. Opaque, semi-opaque or clear panels on the walls or roofs are prohibited.
11. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.
12. Architectural Design Standards:
 - a) Architectural styles shall be determined prior to Final Development Plan approval, and these shall meet the intent of to the City of Apopka's Development Design Guidelines except as noted on these Development Standards. Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
 - b) A deviation from the City of Apopka Development Design Guidelines is hereby requested for all 60' lots with 50' wide homes to allow for the garage to cover a maximum of 60% of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer.
 - c) Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
 - d) Minimum roof pitch over the main house and garage shall be 5/12. Roof pitch over porches shall be a minimum of 4/12.
 - e) 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
 - f) Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
 - g) Trim around windows and doors shall be painted a different color from the body of the house. Doors may be painted either the same as the trim or separate accent color.
 - h) Pavers shall be installed in front yard driveways and lead walks.
13. Front Building Entrance Elevation Design Standards:
 - a) Front porches & porticos at grade level.
 - b) Identical model plan type shall not be constructed on neighboring lots who share a side yard property boundary line without a different elevation style type.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line.
 - d) Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
14. Rear Elevation Design Standards:
 - a) Large expanses of solid wall shall be avoided thru use of windows, wall features, or wall / roof jogs.
 - b) Window grid patterns and window banding & trim shall match front elevation windows.

- c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line
 - d) Modification or replacement of the exterior elevation can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
15. Mail Kiosk Elevation Design Standards:
- a) Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosks within the community.
16. Individual Lot Front & Rear Yard Fencing Standards:
- a) Maximum height of a fence shall be 6'-0" above final grade. When abutting a common area wall, the fence height shall taper to the height of the wall across a horizontal distance no less than 8'-0".
 - b) Rear yard fences shall not project more than five feet (5') beyond rear side wall building corner.

C. Utilities and Infrastructure

1. Water service shall be provided by the City of Apopka. The water system shall be designed to City standards.
2. Reclaim water service shall be provided by the City of Apopka. The reclaim water system shall be designed to City standards.
3. Stormwater management system shall be designed to comply with the design standards of this Master Plan and the St. Johns River Water Management District.
4. A final drainage report and soils report will be submitted with the Final Development Plan.
5. Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to City of Apopka standards.
6. Utility easements shall be dedicated to the City of Apopka.
7. Drainage easements to be dedicated to the Home Owners' Association unless otherwise required by the City of Apopka.
8. All stormwater and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the Final Development Plan.
9. On-site streets are to be constructed per City of Apopka standards.
10. Stabilized access roadways and fire hydrants must be in place before building construction may begin.
11. Solid waste collection and public safety (police and fire) provided by the City of Apopka.
12. The internal street right-of-way is to be private.
13. Five-foot (5') wide sidewalks are to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Land Development Code. Sidewalk alignment may be adjusted at final development plan to preserve existing trees.
14. A five-foot (5') wide sidewalk shall be constructed within the southern side of the Johns Road right-of-way from the main entrance proposed within Parcel ID 28-21-08-0000-00-005 east until the western parcel boundary of Parcel ID 28-21-08-0000-00-043. At this point, a crosswalk will be installed across the Johns Road paved roadway to the northern side of the right-of-way, from where the proposed sidewalk will run east and connect to the existing sidewalk.
15. Right-of-way dedication along Johns Road shall be as depicted on sheet C4.0 or the Lake Marshall Subdivision Phase 1 Planned Unit Development Master Plan/Preliminary Development Plan.
16. Garages shall be accessed from the adjacent public right-of-way at the front of the lot for all lots.
17. Power service within the development shall be underground. No overhead service will be allowed.

18. Vehicular, Pedestrian and Accent lighting shall substantially conform the Section 3.10 – Lighting of the City of Apopka Development Design Guidelines.
19. Based upon the development’s daily trip generation of 1,779 vehicles, the provision of one northbound deceleration lane at the intersection of Johns Road and Bradshaw Road is warranted when the development reaches 50 percent (50%) of its Phase 1 development program, or prior to the completion of the 87th residential unit in the entire Lake Marshall Subdivision, whichever comes first.
20. A twenty-four-foot (24’), gated emergency access road shall be constructed between lots 135 and 136, connecting the Lake Marshall Subdivision Street C right-of-way to the Breckenridge Subdivision Cavan Drive right-of-way to provide an emergency-only route for both subdivisions. This access road shall be constructed within a 40-foot emergency access easement, pedestrian ingress/egress, and utility easement.
21. The potable and reclaimed water mains connecting Breckenridge to the City of Apopka utilities shall be rerouted through Lake Marshall Subdivision H.O.A.-owned tracts to remove them from the rear of lots 132 through 135. Within the Breckenridge Subdivision, these mains will run north through the 40-foot emergency access easement, pedestrian ingress/egress, and utility easement mentioned above.

D. Recreation and Open Space

1. Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka LDC Section 2.02.18(D)(19).
2. Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit.
3. Tract “E” shall be an approximate 1.56-acre Park. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Park amenities shall include a cabana with restrooms, a swimming pool, a playground, and a mixed-use active field at a minimum. The Community Building shall be a minimum of 900 SF containing, at a minimum, restroom facilities for the building and pool. The swimming pool and deck area shall be a minimum of 3,000 SF and water area a minimum of 2,000 SF. Documentation/calculations that the proposed pool size complies with state health standards will be provided at the Final Development Plan.
4. Tract “F” shall be an approximate 1.58-acre Community Lake Park. A specific park site plan and amenities/equipment shall be provided with the Final Development Plan. Community lake park amenities shall include at a minimum one community ramp, one community dock, and picnic tables.
5. Tract G and H will incorporate pedestrian circulation, benches, and open play areas. Specific park site plans and amenities/equipment shall be provided with the Final Development Plan.
6. All recreation and open space areas within the limits of Phase 1 will be accessible to all homeowners of Phase 2 of the Lake Marshall Subdivision.

E. Buffers and Landscaping

1. A twenty-foot (20’) buffer for entry wall and landscaping will be provided along each side of the proposed main entrance on Johns Road. These tracts shall be dedicated to and maintained by the H.O.A. The design of these buffer tracts shall generally follow the landscape design appearing on sheets LS-04 and LS-08 of the Master Plan/Preliminary Development Plan. A six foot (6’) high wall or fence is provided in these tracts to provide buffering from the adjacent roadway.
2. A five-foot (5’) wide buffer tract for landscaping will be provided along the rear of lots 1-24 to provide buffering from industrial-zoned properties. This tract shall be dedicated to and maintained

by the H.O.A. The design of this buffer shall generally follow the landscape design appearing on sheets LS-01, LS-02, LS-04, LS-05, LS-06, and LS-08 of the Master Plan/Preliminary Development Plan.

3. A ten-foot (10') wide buffer tract for landscaping will be provided along each side of the proposed emergency access tract for Lake Marshall Subdivision and Breckenridge Subdivision. These tracts shall be dedicated to and maintained by the H.O.A. The design of these buffer tracts shall generally follow the landscape design appearing on sheet LS-06 of the Master Plan/Preliminary Development Plan.
4. Entrance feature and community sign details will be provided with the Final Development Plan.
5. Final landscape plans for the buffer areas along the proposed main entrance at Johns Road will be provided with the Final Development Plan.
6. Tree Planting Conditions. Minimum of three new trees shall be planted per 60' and 75' residential lot. The new trees shall be a minimum of three inches (3") DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
7. Tree Protection Plan - The Final Development Plan shall include tree protection techniques to prevent harm to any trees designate to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, silt fencing or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

1. The Lake Marshall Home Owners' Association will maintain common areas, fences/walls, and landscaping within the front and corner yards of all lots. The HOA shall also be responsible for maintenance of streets, street lighting, and stormwater collection systems within the right-of-way and drainage easements within the Lake Marshall Subdivision.
2. The Final Development Plan shall include the plat document, and the plat shall be in final form.

G. Wetlands and Environmental

1. There are three wetland areas within the site. These are located in the northwest, north, and northeast portions of the property.
2. According to the FEMA Flood Insurance Rate Map for Orange County, FL, Panel No. 12095-C-0120-F, dated September 25, 2009, the majority of the proposed development is located within Zone X (areas determined to outside the 500-year floodplain) and limited northern portions of Parcel ID 28-21-08-0000-00-005 fall within FEMA flood zone AE. The areas within these portions that will be developed will be removed from the floodplain.
3. An erosion control plan will be submitted with the Final Development Plan.
4. Tree removal, tree replacement, and landscaping shall comply with Water Wise Ordinance 2069 and shall be consistent with Article V of the City of Apopka Land Development Code.
5. Individual lot arbor/clearing permit is required prior to clearing or grading of any lot or issuance of building permit. Placement of the house shall preserve existing trees to the greatest extent practical. Plot plan for each lot shall illustrate tree locations as presented within the PUD Master Plan/Preliminary Development Plan.

H. Development Condition Continuity

The PUD Development Standards shall be printed within the PUD Master Plan and the Final Development Plan.

I. Signage

Signage shall comply with Article 8 of the City of Apopka Land Development Code and with the City of Apopka Development Design Guidelines.

J. Lighting

Lighting shall comply with the City of Apopka's City Ordinance No. 2069 and Section 3.10 of the City of Apopka Development Design Guidelines. Street and parking area or pedestrian path light poles shall be decorative type. Details will be provided with the Final Development Plan.

L. Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
2. All acreages are subject to change with final engineering and final plat review and approval.



Landscape Designs, LLC

- Landscape Architecture
- Site Planning

4465 Gabriella Lane
Winter Park, FL 32792
PH: (407) 484-3414
FX: (407) 671-1604

PROJECT AND OWNER

LAKE MARSHALL SUBDIVISION PHASE I

City of Apopka
Florida

Applan Engineering, LLC
2221 Lee Road, Suite 17
Winter Park, FL 32789
PH: (407) 960-5856

CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. APP01.03
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 08/22/17

ISSUED FOR:

11/29/17 New Tree Survey
02/04/18 Site Change

DRAWING SCALE



DRAWING TITLE

LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-05

SHEET 39 OF 42

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
-----------------	-----	----------------	-------------	-------	------	------	---------

STREET TREE	23	Lewuambar styraciflua	Sweet Gum	65 gals	3" DBH	15' HT.	
	79	Platanus occidentalis	Sycamore	65 gals	3" DBH	15' HT.	
	110	Ulmus parvifolia	Chinese Elm	65 gals	3" DBH	10' x 12' HT.	

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
-----------------	-----	----------------	-------------	-------	------	------	---------

STREET TREE	201	Quercus virginiana	Southern Live Oak	100 gals	4" DBH	15' HT.	
	52	Quercus virginiana 'Cathedral'	Cathedral Live Oak	65 gals	3" DBH	12' HT.	

FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
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STREET TREE	27	Lindoodendron tulipifera	Tulip Tree	65 gals	3" DBH	10' x 12' HT.	
	127	Magnolia grandiflora	Southern Magnolia	65 gals	3" DBH	12' HT.	
	19	Magnolia grandiflora 'Majestic Beauty' TM	Southern Magnolia	65 gals	3" DBH	10' x 12' HT.	

SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
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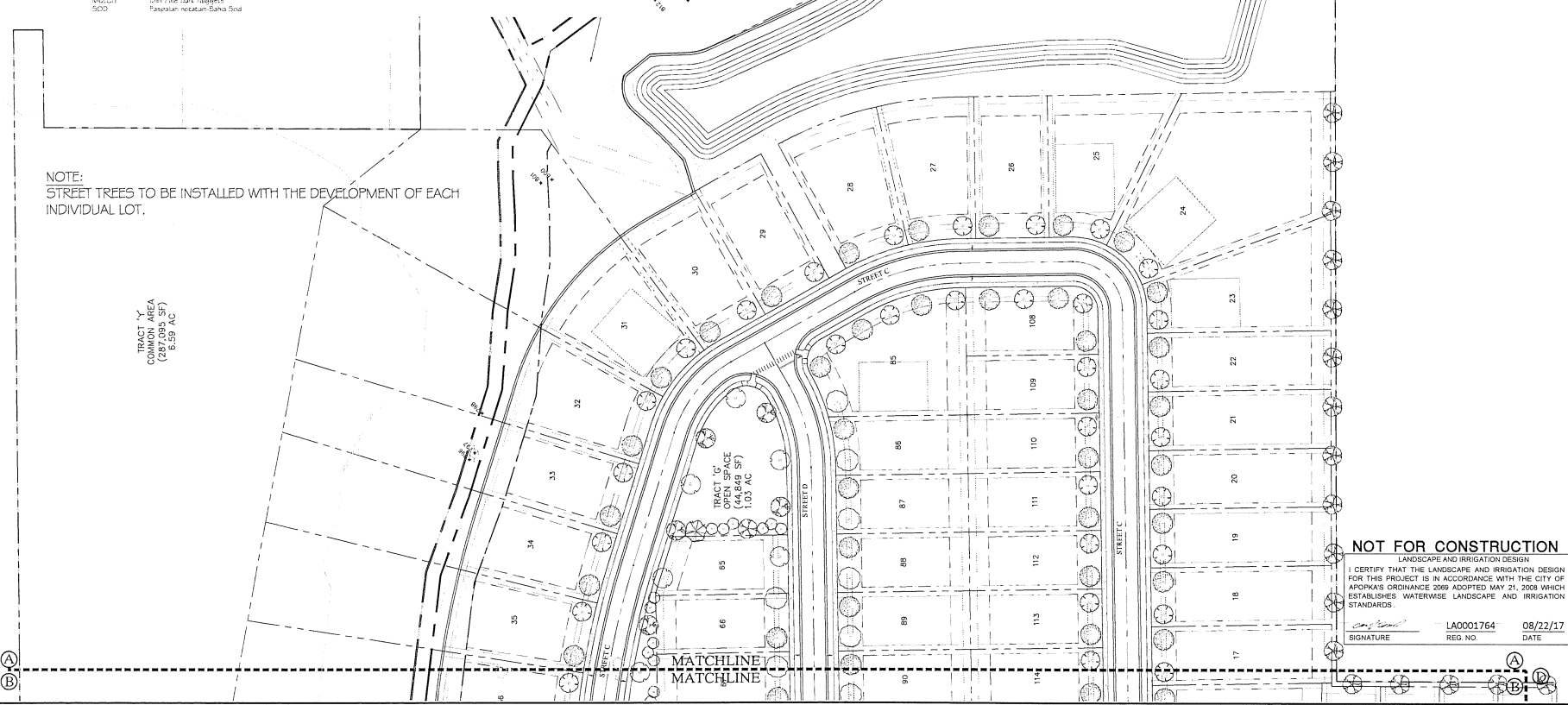
	195	Galphimia spicata	Thyriasis	3 gals			24" x 30" ht. x 24" x 30" spp., 30" O.C.
	106	Wiburnum eboulatum	Wiburnum	7 gals			36" ht. x 30" x 36" spp., 30" O.C.

GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	FIELD3	REMARKS
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	130	Muhlenbergia capillaris	Pink Muhly Grass	3 gals			18" x 24" ht. x 24" x 30" spp., 30" O.C.
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SOD & MISCELLANEOUS ITEMS
MULCH Lion Food Batts, Bags
SOD Paspalum notatum, Bahia Sod

NOTE:
STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.



NOT FOR CONSTRUCTION
LANDSCAPE AND IRRIGATION DESIGN

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2009 ADOPTED MAY 21, 2009 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: *Carl J. Kelly Jr.* REG. NO. LA0001764 DATE 08/22/17



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- Site Planning

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PROJECT AND OWNER

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CONSULTANTS

LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP01.03
DESIGNED BY: CJK
DRAWN BY: CJK
CHECKED BY: CJK
DATE: 06/22/17

REVISIONS FOR:
11/29/17 New Tree Survey
02/04/18 Site Changes

DRAWING SCALE

1" = 60'-0"
0 FT 20 FT 40 FT North

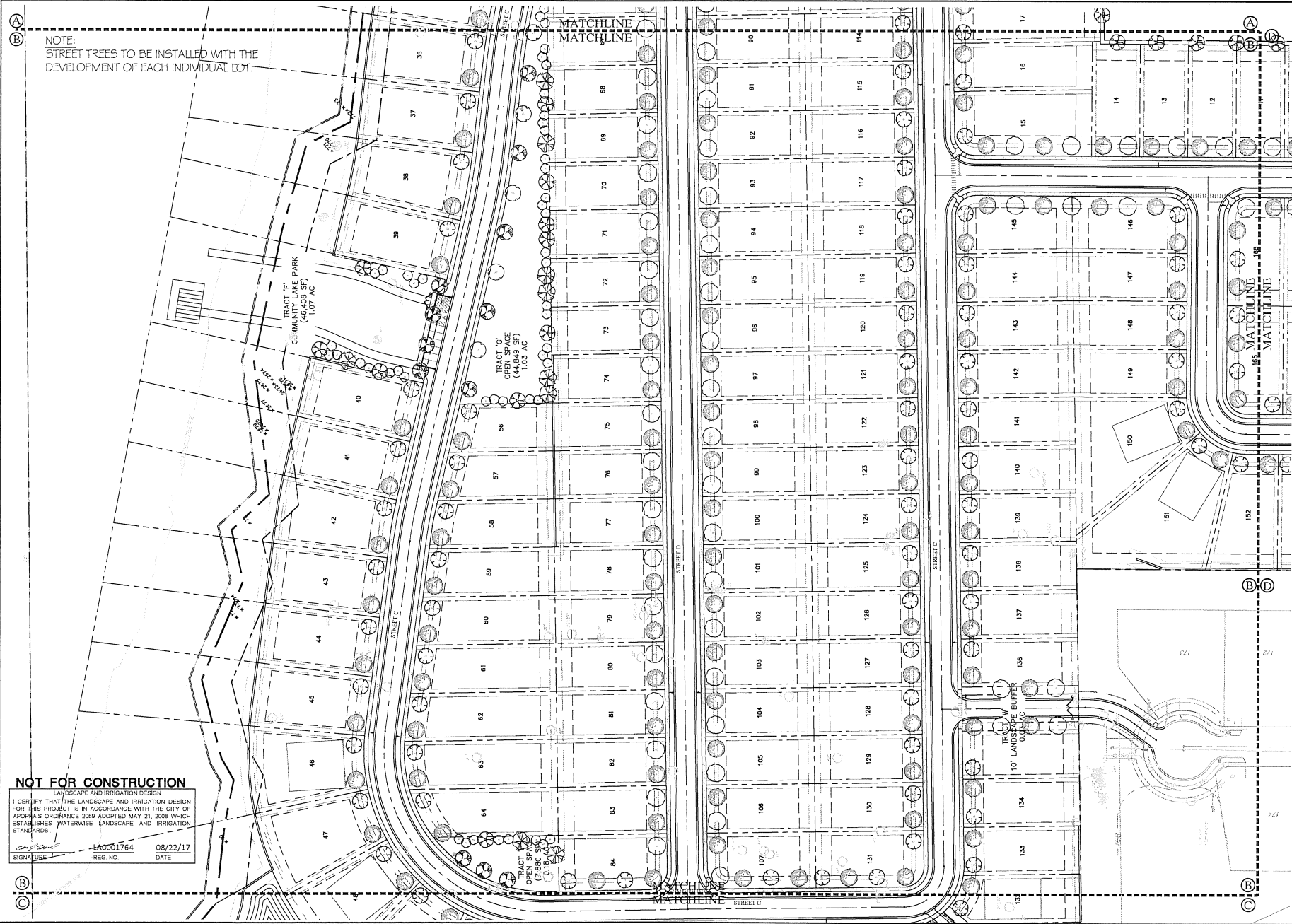
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LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-06

SHEET **40** OF **42**



NOTE:
STREET TREES TO BE INSTALLED WITH THE
DEVELOPMENT OF EACH INDIVIDUAL LOT.

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STANDARDS

Carl J. Kelly Jr.
REG. NO. 0001764
DATE 06/22/17

C:\Users\APPO3_01\Desktop\LakeMarshall\landscape\landscapeCodePlan\LM-PH-I-LND.dwg



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LANDSCAPE ARCHITECT

CARL J. KELLY JR., RLA

REG. #: 0001764

PROJECT NO. APP01.03
DESIGNED BY: CJK
DRAWN BY: CJK
CHECKED BY: CJK
DATE: 08/22/17

ISSUED FOR:
11/29/17 New Tree Survey
02/04/18 Site Changes

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1" = 60'-0"
0 FT 20 FT 40 FT North
SCALE: 1"=60'-0"

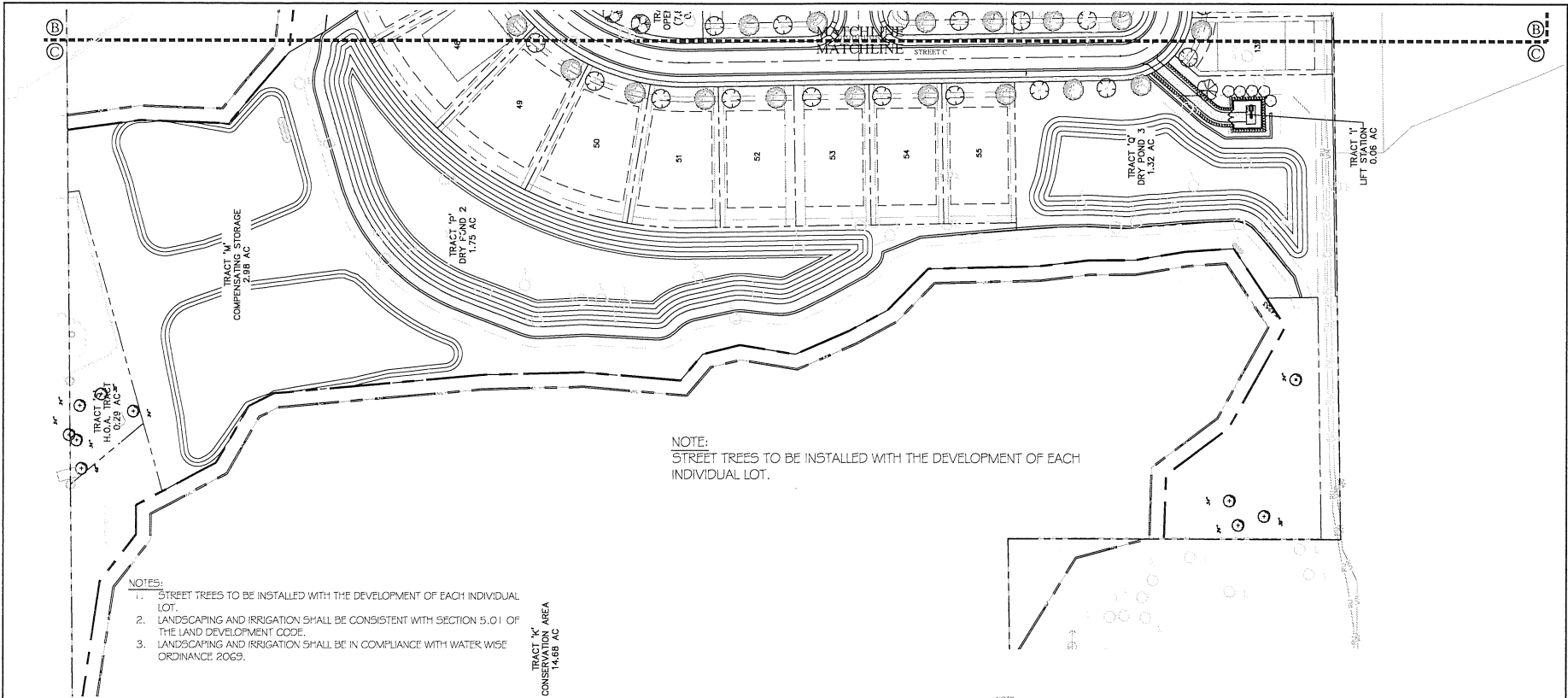
DRAWING TITLE

LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-07

SHEET 41 OF 42



- NOTES:**
1. STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
 2. LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
 3. LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069.

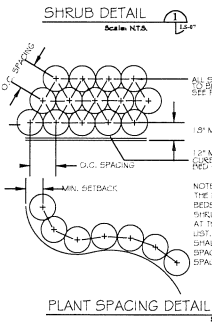
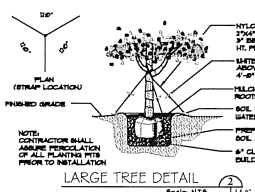
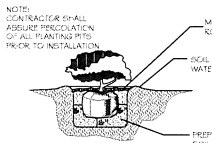
PLANT SCHEDULE

QUANTITY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
DECIDUOUS TREES						
25	Liquidambar styraciflua	Sweet Gum	65 gal	3" DBH	15' HT.	
70	Platanus occidentalis	Sycamore	65 gal	3" DBH	15' HT.	
110	Ulmus parvifolia	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES						
201	Quercus virginiana	Southern Live Oak	100 gal	4" DBH	15' HT.	
50	Quercus virginiana 'Catebaul'	Catebaul Live Oak	65 gal	3" DBH	12' HT.	
SHRUBS						
27	Liriodendron tulipifera	Tulip Tree	65 gal	3" DBH	10'-12' HT.	
27	Magnolia grandiflora	Southern Magnolia	65 gal	3" DBH	12' HT.	
10	Magnolia grandiflora 'Majesty Brassy™'	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
GRASSES						
195	Cymbopogon dactyloides	Thyras	3 gal		24"-30" HL. x 24"-30" SW., 30" O.C.	
100	Vallisneria spiralis	Water's Nymphaea	7 gal		30" HL. x 30"-36" SW., 30" O.C.	
130	Muhlenbergia capillaris	Pink Muhly Grass	3 gal		18"-24" HL. x 24"-30" SW., 30" O.C.	

SCD 4 MISC. LANDSCAPE ITEMS
MULCH: Min Pine Bark Nuggets
SOD: Paspalum notatum Bahia Sod

LANDSCAPE NOTES:

1. ALL PLANT MATERIAL SHALL BE FLORIDA GRADE NO. 1 OR BETTER AS SPECIFIED IN NURSERY AND STANDARDS FOR NURSERY PLANTS, PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
2. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER'S REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NECESSARY SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
3. CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
4. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PREPARE REPORTING ALL DISCREPANCIES AND UNDESIRABLE CONDITIONS (WEEDS, NUTS, DEBRIS, ETC.) TO LANDSCAPE ARCHITECT PRIOR TO BEGINNING CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL SOIL AMENDMENTS TO CONFORM TO SPECIFICATIONS.
5. ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
6. THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL CITY GRADING AS THEY RELATE TO PAVING SITE GRADING, AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY TO PRECLUDE ANY MISUNDERSTANDING AND ENSURE TROUBLE FREE INSTALLATION. THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINGHEADS AND PPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT AVOIDANCE OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THESE REPLACEMENT IF DAMAGED BY HIM.
7. ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER (1" OVER ROOTBALL) OF MINUS #16 BARK NUGGET MULCH.
8. IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLAN SHALL TAKE PRECEDENT.



NOT FOR CONSTRUCTION

I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: [Signature] REG. NO. LA0001764 DATE: 08/22/17



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- Landscape Architecture
- Site Planning

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PROJECT AND OWNER

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City of Apopka
Florida

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Winter Park, FL 32789
PH: (407) 860-5858

CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

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DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
DATE 08/22/17

ISSUED FOR:
11/29/17 New Tree Survey
02/04/18 Site Changes

DRAWING SCALE

1" = 60'
0" FT 20' 40' North
SCALE: 1"=50'-0"

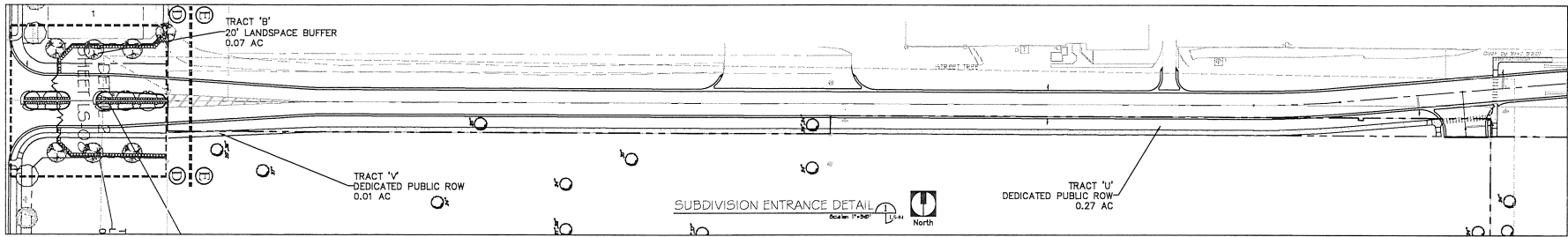
DRAWING TITLE

LANDSCAPE SITE PLAN

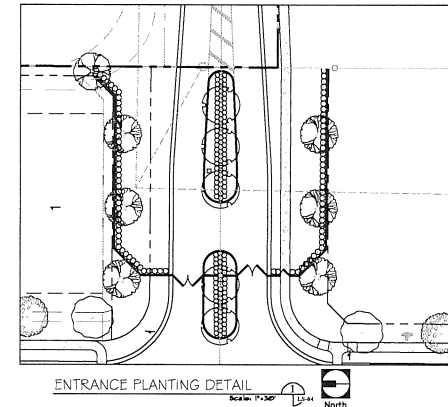
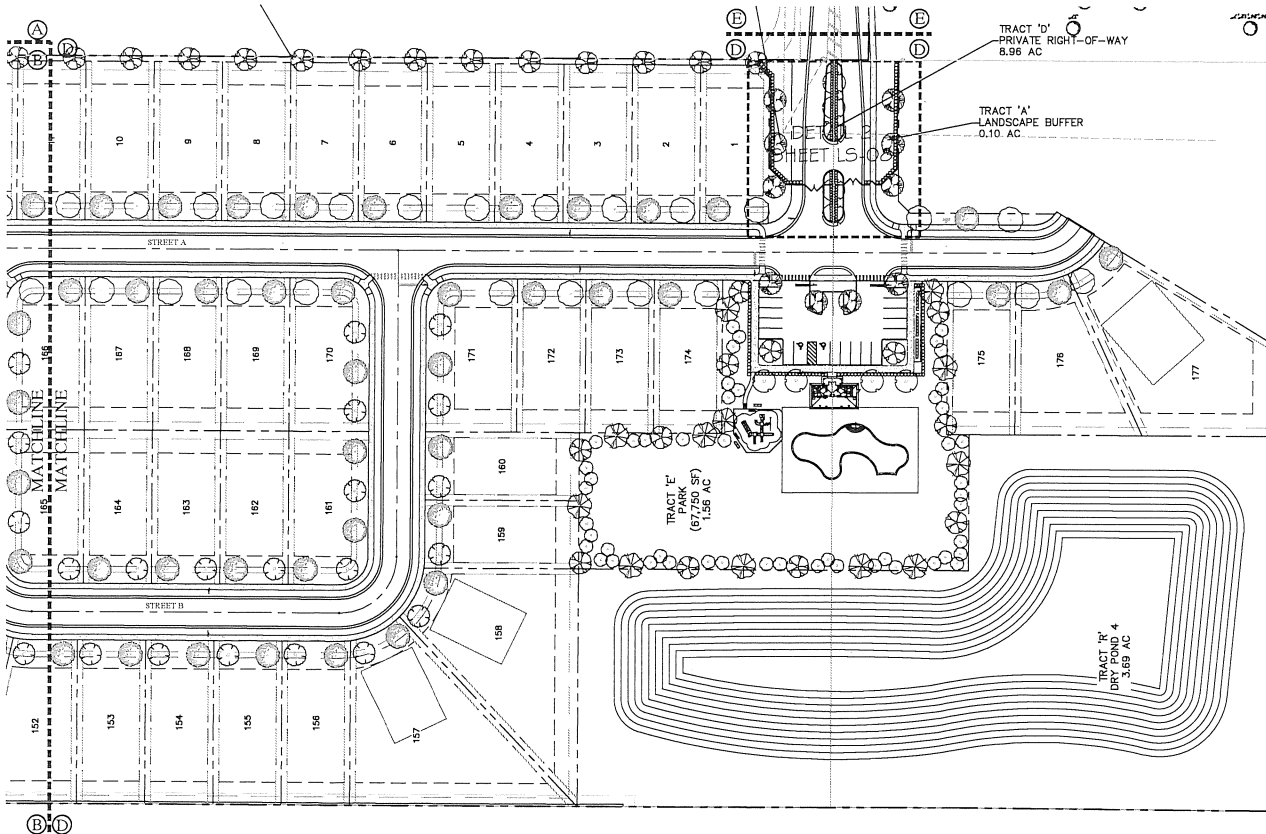
DRAWING NUMBER

LS-08

SHEET **42** OF **42**



NOTE:
STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.



NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2006 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: *Carl Kelly Jr.* LAD0001764 08/22/17
REG. NO. DATE

LAKE MARSHALL PHASE 2 MASTER PLAN DEVELOPMENT STANDARDS

A. Design Standards

1. LOT CRITERIA:

Description	Single-Family Detached 60' Lot	Single-Family Detached 55' Lot
Lot Setbacks ⁽¹⁾		
Front Porch ⁽²⁾	15'	15'
Front	25'	25'
Rear	20'	20'
Side	5'	7.5'
Side Corner	15'	N/A
Garage	25' ⁽⁵⁾	25' ⁽⁵⁾
Accessory Structure Rear	5'	5'
Lot Dimensions		
Min. Average Lot Area	8,100 SF	7,425 SF
Min. Lot Width	60' ⁽³⁾	55' ⁽⁴⁾
Min. Lot Depth	135'	135'
Max. Lot Coverage	75%	75%
Max. Building Height	35'/2 Stories	35'/2 Stories
Min. Living Area	1,600 SF	1,600 SF

(1) See Sheet C3.6 for depiction of conceptual typical site plans.

(2) Front porch setback as allowed per City of Apopka Development Design Guidelines 3.2.1.

(3) Minimum lot width may be reduced to 40' around curves so long as lot width at the building line is 60' minimum.

(4) Minimum lot width may be reduced to 35' around curves so long as lot width at the building line is 55' minimum.

(5) A deviation from the City of Apopka's requirement of a 30' garage setback is hereby requested.

B. Architectural, Buildings, and Accessory Structures

1. Architectural design shall meet the intent of City of Apopka Development Design Guidelines or unless otherwise stated.
2. All lots shall have detached single family homes.
3. Each individual single-family home shall have a minimum of two (2) bedrooms.
4. All lots shall have attached minimum two (2) car garages.
5. A deviation from the City of Apopka Development Design Guidelines is hereby requested to allow for side-entry, flush, recessed, and protruding garage styles throughout the Lake Marshall Subdivision.
6. Mail delivery for all lots within both phases of the Lake Marshall Subdivision shall occur at mail kiosk with cluster mailbox units. Approval from the Postmaster of the mail kiosks and their location shall be submitted prior to approval of the Final Development Plan.
7. AC condenser units & similar equipment placed in the side yard area shall be screened with landscaping or opaque fencing.
8. Storage sheds or similar storage facilities shall not be allowed.
9. Swimming pools shall be allowed on all lots.

- a) Swimming Pools must be in-ground type. Above Ground Pools are prohibited.
 - b) Swimming pools and decks are prohibited from projecting beyond the side wall facade.
10. Screen enclosures over swimming pools and their respective deck area with non-metal or non-vinyl roofs shall be allowed.
- a) Screening shall be dark mesh. Opaque, semi-opaque or clear panels on the walls or roofs are prohibited.
11. Screen enclosures with metal, vinyl, or screen mesh roofs over non-swimming pool decks are prohibited.
12. Architectural Design Standards:
- a) Architectural styles shall be determined prior to Final Development Plan approval, and these shall meet the intent of to the City of Apopka's Development Design Guidelines except as noted on these Development Standards. Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
 - b) A deviation from the City of Apopka Development Design Guidelines is hereby requested for all 60' lots with 50' wide homes to allow for the garage to cover a maximum of 60% of the length of the front primary façade only in the case a three (3) car garage is selected by the homebuyer.
 - c) Front facade materials such as cultured stone veneer, stucco, & fiber cement siding shall be utilized to be consistent with the applicable Architectural Style.
 - d) Minimum roof pitch over the main house and garage shall be 5/12. Roof pitch over porches shall be a minimum of 4/12.
 - e) 30-year asphalt shingle shall be installed on all roofs. 3-tab shingles are prohibited. Single shingle color shall be used for uniformity throughout the community.
 - f) Aluminum fascia and soffit shall be standard for all houses. Single Fascia and soffit color shall be used for uniformity throughout the community.
 - g) Trim around windows and doors shall be painted a different color from the body of the house. Doors may be painted either the same as the trim or separate accent color.
 - h) Pavers shall be installed in front yard driveways and lead walks.
13. Front Building Entrance Elevation Design Standards:
- a) Front porches & porticos at grade level.
 - b) Identical model plan type shall not be constructed on neighboring lots who share a side yard property boundary line without a different elevation style type.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line.
 - d) Modification or replacement of the exterior elevations can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
14. Rear Elevation Design Standards:
- a) Large expanses of solid wall shall be avoided thru use of windows, wall features, or wall / roof jogs.
 - b) Window grid patterns and window banding & trim shall match front elevation windows.
 - c) Identical exterior paint schemes shall not be applied on neighboring lots who share a side yard property boundary line
 - d) Modification or replacement of the exterior elevation can be approved by the Community Development Director if such changes represent equivalent architectural value. Substantial deviations from architectural rendering must be approved by City Council.
15. Mail Kiosk Elevation Design Standards:

- a) Elevation shall be compatible with the architectural elevation styles of the homes & mail kiosk within the community.
16. Individual Lot Front & Rear Yard Fencing Standards:
- a) Maximum height of a fence shall be 6'-0" above final grade. When abutting a common area wall, the fence height shall taper to the height of the wall across a horizontal distance no less than 8'-0".
 - b) Rear yard fences shall not project more than five feet (5') beyond rear side wall building corner.

C. Utilities and Infrastructure

1. Water service shall be provided by the City of Apopka. The water system shall be designed to City standards.
2. Reclaim water service shall be provided by the City of Apopka. The reclaim water system shall be designed to City standards.
3. Stormwater management system shall be designed to comply with the design standards of this Master Plan and the St. Johns River Water Management District.
4. A final drainage report and soils report will be submitted with the Final Development Plan.
5. Sanitary service shall be provided by the City of Apopka. The sanitary system shall be designed to City of Apopka standards.
6. Utility easements shall be dedicated to the City of Apopka.
7. Drainage easements to be dedicated to the Home Owners' Association unless otherwise required by the City of Apopka.
8. All stormwater and utility pipes may be moved to save existing trees in the right-of-way. Any change in the location of these pipes will be shown on the Final Development Plan.
9. On-site streets are to be constructed per City of Apopka standards.
10. Stabilized access roadways and fire hydrants must be in place before building construction may begin.
11. Solid waste collection and public safety (police and fire) provided by the City of Apopka.
12. The internal street right-of-way is to be private.
13. Five-foot (5') wide sidewalks are to be constructed adjacent to internal roads throughout the entire project in compliance with the City of Apopka Land Development Code. Sidewalk alignment may be adjusted at final development plan to preserve existing trees.
14. Garages shall be accessed from the adjacent public right-of-way at the front of the lot for all lots.
15. Power service within the development shall be underground. No overhead service will be allowed.
16. Vehicular, Pedestrian and Accent lighting shall substantially conform the Section 3.10 – Lighting of the City of Apopka Development Design Guidelines.
17. Based upon the Lake Marshall Subdivision Phase 1 and Phase 2 total daily trip generation of 2,896 vehicles, the provision of one southbound deceleration lane on Bradshaw Road and one eastbound left turn lane on John's Road at the intersection of John's Road and Bradshaw Road to the east of the development are warranted. These are in addition to the northbound deceleration lane on Bradshaw Road warranted prior to the completion of the 87th residential unit within the entire Lake Marshall Subdivision.

D. Recreation and Open Space

1. Required project open space shall be a minimum of 30% of the developed site area in accordance with City of Apopka LDC Section 2.02.18(D)(19).
2. Required project recreation shall be provided at a rate of 3.6 acres per 1,000 population with 2.6 population per dwelling unit.

3. All parks and open space within the limits of Phase 1 of the Lake Marshall Subdivision shall be accessible to and account towards required recreation and open space areas for Phase 2 per the Lake Marshall Subdivision Phase 1 Planned Unit Development Master Plan/Preliminary Development Plan.
4. Tracts E and F will incorporate pedestrian circulation, benches, and open play areas. Specific park site plans and amenities/equipment shall be provided with the Final Development Plan.

E. Buffers and Landscaping

1. A twenty-foot (20') densely vegetated/landscaped tract will be provided along the rear of Lots 242-257 and Tracts 'E' and 'F' to provide buffering from the adjacent SR 451 right-of-way. This tract shall be dedicated to and maintained by the H.O.A. The design of this buffer tract shall generally follow the landscape design appearing on sheets LS-02 and LS-04 of the Master Plan/Preliminary Development Plan.
2. A minimum ten-foot (10') wide buffer tract for landscaping will be provided along the rear of lots 175-199 to provide buffering from the Johns Road right-of-way. This tract shall be dedicated to and maintained by the H.O.A. The design of this buffer shall generally follow the landscape design appearing on sheets LS-01, LS-02, LS-04, and LS-05 of the Master Plan/Preliminary Development Plan.
3. Main access for Phase 2 will be through the Main Entrance located within the Phase 1 limits of the Lake Marshall Subdivision.
4. Entrance provided within the Phase 2 limits is to be a secondary, resident-only access, which will also be accessible to Phase 1 of the Lake Marshall Subdivision.
5. Entrance feature and community sign details will be provided with the Final Development Plan.
6. Final landscape plans for the buffer areas along the proposed main entrance at John's Road will be provided with the Final Development Plan.
7. Tree Planting Conditions. Minimum of three (3) new trees shall be planted per 55' and 60' residential lot. The new trees shall be a minimum of three inches (3") DBH at the time of planting and shall count toward the overall number of required tree replacement inches, if any.
8. Tree Protection Plan - The Final Development Plan shall include tree protection techniques to prevent harm to any trees designate to be preserved or encroachment into protected natural areas, including but not limited to tree barricades, silt fencing or other similar techniques accepted by the City Engineer.

F. Maintenance and Plat

1. The Lake Marshall Home Owners' Association will maintain common areas, fences/walls, and landscaping within the front and corner yards of all lots. The HOA shall also be responsible for maintenance of streets, street lighting, and stormwater collection systems within the right-of-way and drainage easements within the Lake Marshall Subdivision.
2. The Final Development Plan shall include the plat document, and the plat shall be in final form.

G. Wetlands and Environmental

1. There is one wetland area onsite. It is entirely located within the Tract 'I' Conservation Area.
2. There are no areas within a FEMA floodplain onsite.
3. An erosion control plan will be submitted with the Final Development Plan.

4. Tree removal, tree replacement, and landscaping shall comply with Water Wise Ordinance 2069 and shall be consistent with Article V of the City of Apopka Land Development Code.
5. Individual lot arbor/clearing permit is required prior to clearing or grading of any lot or issuance of building permit. Placement of the house shall preserve existing trees to the greatest extent practical. Plot plan for each lot shall illustrate tree locations as presented within the PUD Master Plan\ Preliminary Development Plan.

H. Development Condition Continuity

The PUD Development Standards shall be printed within the PUD Master Plan and the Final Development Plan.

I. Signage

Signage shall comply with Article 8 of the City of Apopka Land Development Code and with the City of Apopka Development Design Guidelines.

J. Lighting

Lighting shall comply with the City of Apopka's City Ordinance No. 2069 and Section 3.10 of the City of Apopka Development Design Guidelines. Street and parking area or pedestrian path light poles shall be decorative type. Details will be provided with the Final Development Plan.

L. Miscellaneous

1. Any existing septic tanks or wells shall be properly abandoned prior to earthwork or construction. Permits shall be applied for and issued by the appropriate agencies.
2. All acreages are subject to change with final engineering and final plat review and approval.



Landscape Designs, LLC

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- Site Planning

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PROJECT AND OWNER

LAKE MARSHALL SUBDIVISION PHASE II

City of Apopka Florida

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CONSULTANTS

LANDSCAPE ARCHITECT
CARL J. KELLY JR., RLA

REG.#: 0001764

PROJECT NO. APP01.03
DESIGNED BY CJK
DRAWN BY CJK
CHECKED BY CJK
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ISSUED FOR:
11/28/17 New Tree Survey

DRAWING SCALE



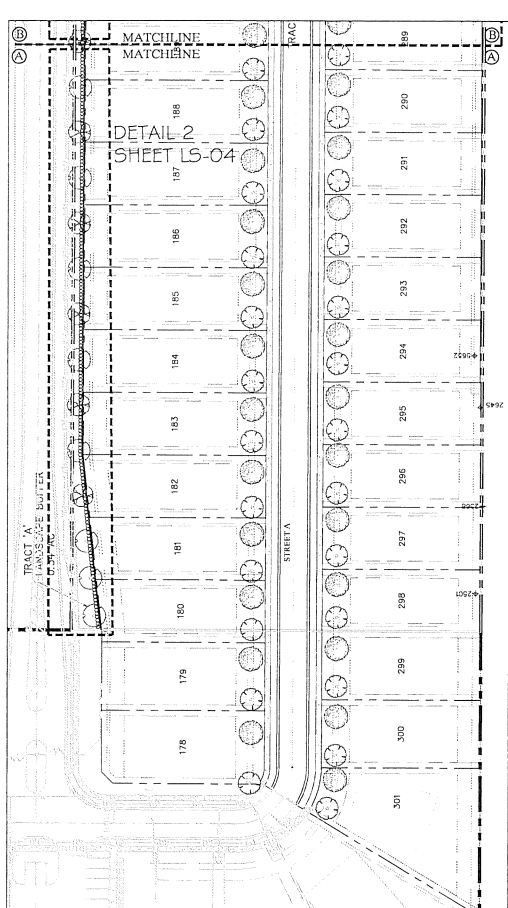
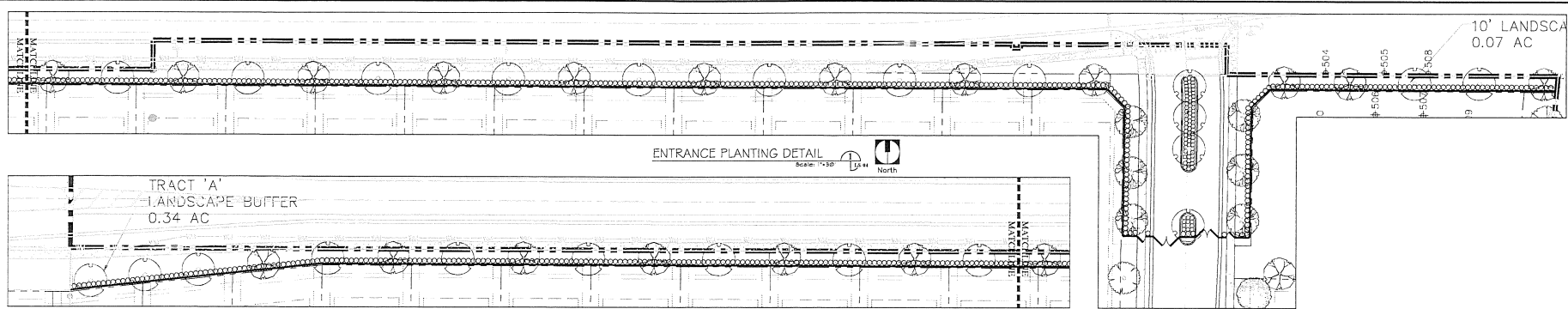
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LANDSCAPE SITE PLAN

DRAWING NUMBER

LS-04

SHEET 39 OF 41



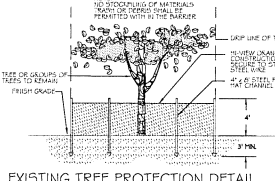
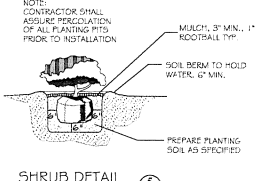
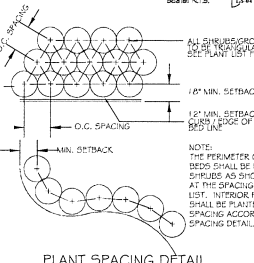
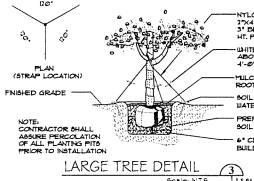
ENTRANCE PLANTING DETAIL Scale: 1"=30' N 1/4" North

LANDSCAPE NOTES:

- ALL PLANT MATERIAL SHALL BE FLORIDA GRADE (NO. 1) OR BETTER AS SPECIFIED IN GRADES AND STANDARDS FOR NURSERY PLANTS, PARTS 1 AND 2, BY DIVISION OF PLANT INDUSTRY, FLORIDA, DEPARTMENT OF AGRICULTURE AND CONSUMER SERVICES, AND SHALL CONFORM TO CURRENT AMERICAN ASSOCIATION OF NURSERMEN STANDARDS FOR NURSERY STOCK, LATEST EDITION.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR OR OWNER REPRESENTATIVE, NOT THE LANDSCAPE ARCHITECT, FOR THE NURSERY SELECTION OF PLANT MATERIAL AND TO ENSURE THE HEALTH AND SAFETY OF ALL PLANTS SELECTED.
- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE BUILDING CODES, ORDINANCES AND LOCAL REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS TO PERFORM THE WORK.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR INSPECTION OF EXISTING CONDITIONS AND PROMPTLY REPORTING ALL DISCREPANCIES AND IMPROPER CONDITIONS (WEEDS, MULCH DEBRIS, ETC.) TO LANDSCAPE ARCHITECT PRIOR TO BIDDING. CONTRACTOR IS RESPONSIBLE FOR SOIL ANALYSIS PRIOR TO INSTALLATION OF PLANTINGS, AND IS RESPONSIBLE FOR ALL SOIL AMENDMENTS TO CONFORM TO SPECIFICATIONS.
- ALL TREES ON SITE SHOULD BE INSPECTED ANNUALLY AND AFTER ALL STORM EVENTS TO ENSURE THE HEALTH AND SAFETY OF ALL TREES.
- THE LANDSCAPE CONTRACTOR SHALL ACQUAINT HIMSELF WITH ALL CIVIL DRAWING AS THEY RELATE TO PAVING, SITE GRADING, AND ALL UTILITIES, INCLUDING WATER, SEWER AND ELECTRICAL SUPPLY TO PRECLUDE ANY CONFLICTS AND ENSURE PROPER TREE INSTALLATION, THE EXACT LOCATION OF ALL EXISTING STRUCTURES, UNDERGROUND UTILITIES, EXISTING UNDERGROUND SPRINKLERS AND PIPE MAY NOT BE INDICATED ON DRAWINGS. THE CONTRACTOR SHALL CONDUCT HIS WORK IN A MANNER TO PREVENT INTERFERENCE OR DAMAGE TO EXISTING SYSTEMS WHICH MUST REMAIN OPERATIONAL. THE CONTRACTOR SHALL PROTECT UTILITY SERVICES WHICH MUST REMAIN OPERATIONAL AND SHALL BE RESPONSIBLE FOR THEIR REPLACEMENT IF DAMAGED BY HIM.
- ALL PLANTING BEDS SHALL RECEIVE A 3" LAYER (1" OVER ROOTBALL) OF MIXED FINE SAND, NUGGET MULCH.
- IN THE EVENT OF A CONFLICT BETWEEN QUANTITIES ON THE PLANT LIST AND THE PLANS, THE PLAN SHALL TAKE PRECEDENCE.

PLANT SCHEDULE

DECIDUOUS TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
	13	<i>Liquidambar styraciflua</i>	Sweet Gum	65 gal	3" DBH	15' HT.	
	70	<i>Platanus occidentalis</i>	Sycamore	65 gal	3" DBH	15' HT.	
	11	<i>Taxodium distichum</i>	Bald Cypress	65 gal	3" DBH	15' HT.	
	32	<i>Ulmus parviflora</i>	Chinese Elm	65 gal	3" DBH	10'-12' HT.	
EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
	147	<i>Quercus virginiana</i>	Southern Live Oak	100 gal	4" DBH	15' HT.	
	34	<i>Quercus virginiana</i> "High Rise"	High Rise Live Oak	65 gal	3" DBH	12' HT.	
FLOWERING TREES	QTY	BOTANICAL NAME	COMMON NAME	CONT.	CAL.	SIZE	REMARKS
	9	<i>Lonicera bloomeri</i>	Tulip Tree	65 gal	3" DBH	10'-12' HT.	
	77	<i>Magnolia grandiflora</i>	Southern Magnolia	65 gal	3" DBH	12' HT.	
	23	<i>Magnolia grandiflora</i> "Majesty Beauty" TM	Southern Magnolia	65 gal	3" DBH	10'-12' HT.	
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELDS	FIELDS	REMARKS
	473	<i>Feyoa sellowiana</i>	Pineapple Guava	3 gal			30" ht. x 24"-30" spread, 36" O.C.
	75	<i>Galphimia glabra</i>	Thyris	3 gal			24"-30" ht. x 24"-30" spread, 36" O.C.
	1	<i>Ligustrum japonicum</i>	Japanese Privet	3 gal			24" ht. x 24"-30" spread, 30" O.C.
	26	<i>Viburnum coccineum</i>	Water's Viburnum	3 gal			24" ht. x 24"-30" spread, 30" O.C.
	79	<i>Muhlenbergia caerulea</i>	Pink Muhly Grass	3 gal			18"-24" ht. x 24"-30" spread, 30" O.C.
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	FIELDS	FIELDS	REMARKS
			Mix Fine Bark Nuggets				
			Mulch				
			Paspalum notatum/Bama Seed				



NOTES:

- STREET TREES TO BE INSTALLED WITH THE DEVELOPMENT OF EACH INDIVIDUAL LOT.
- LANDSCAPING AND IRRIGATION SHALL BE CONSISTENT WITH SECTION 5.01 OF THE LAND DEVELOPMENT CODE.
- LANDSCAPING AND IRRIGATION SHALL BE IN COMPLIANCE WITH WATER WISE ORDINANCE 2069.
- IRRIGATION PLANS SHALL BE PROVIDED AT FINAL DEVELOPMENT PLAN SUBMITTAL.

NOT FOR CONSTRUCTION

LANDSCAPE AND IRRIGATION DESIGN
I CERTIFY THAT THE LANDSCAPE AND IRRIGATION DESIGN FOR THIS PROJECT IS IN ACCORDANCE WITH THE CITY OF APOPKA'S ORDINANCE 2069 ADOPTED MAY 21, 2008 WHICH ESTABLISHES WATERWISE LANDSCAPE AND IRRIGATION STANDARDS.

SIGNATURE: [Signature] LA0001764 08/22/17
REG. NO. DATE

